

Village of Mukwonago  
**REGULAR VILLAGE BOARD MEETING**  
Notice of Meeting and Agenda  
***Tuesday, August 16, 2016***

Time: **6:30 p.m.**

Place: **Mukwonago Municipal Building/Board Room, 440 River Crest Court**

**\*Denotes amendment to agenda**

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. \*Announcement of closed session pursuant to Wis. Stat. **§19.85(1)(c)** and **(f)** for discussion and possible action pertaining to the FMLA status of an employee.
5. Comments from the Public  
*The purpose of this section is to allow the non-elected general public the opportunity to address the Board on any subject of concern that is not the topic of a current or previous Public Hearing before the Village Board. If you wish to be heard, the Village Board asks that you begin by stating your name and address, speak for no more than three minutes and attempt to avoid duplication. Each person speaking must sign the Comments from the Public Appearance sign-in sheet before speaking. The sign-in sheet is available on the table located at the back of the room. The Board will only receive comments during Public Comment. The Public Comment portion of the meeting is scheduled for a total of 15 minutes in length but will end sooner if the Village President has determined that there is no one else present who still wishes to speak.*
6. Appreciation Resolution  
*Discussion and Possible Action on the Following Item*
  - A. Resolution extending appreciation to former Village Trustee Arnold Fickau
7. Consent Agenda  
*All items listed are considered routine and will be enacted by one motion. There will be no separate discussion of these items unless a Board member so requests, in which event the item will be removed from the Consent agenda and be considered on the regular agenda.*
  - A. Approval of minutes for the July 19, 2016 regular meeting
  - B. Approval of Vouchers payable batches:
    - 1) M-7-2016-1 \$163,127.09
    - 2) LIBAP72016 \$ 20,383.49
    - 3) AP-8-2016-1 \$670,334.48
    - 4) TAXSET8-2016 \$960,252.92
    - 5) AP-8-2016-2 \$995,755.08
  - C. Authorization of the Public Works Director to sell unused and retired equipment, in accordance with the list provided on August 1, 2016, through Wisconsin Surplus Action Services

- D. Approval of special event permit requested by St. James Catholic Parish for the event known as St. James Parish Festival to be held on August 26-28, 2016 at the property located at 830 CTH NN E
- E. Approval of special event permit requested by Mukwonago Area Chamber of Commerce for the event known as Mukwonago Fall Fest to be held on September 24, 2016 throughout the downtown Village area
- F. Approval of change of agent for Wildflower Café LLC, 1015 CTH NN E, d/b/a Wildflower Café to Lourdes Gonzalez
- G. Clarification that the appointment start date for Robert Harley as the Supervisor of Inspections shall be August 1, 2016
- H. Authorization of the Police Chief to begin the bidding process for the 2016 Police Department Roofing Project
- I. Authorization of the Village Attorney to file claim against letter of credit for The Glen of Mukwonago subdivision

8. Committee/Commission Reports

*Discussion and Possible Action on the Following Items*

A. Judicial Committee

- 1) A resolution naming CTH NN and CTH NN East within the Village limits

B. Plan Commission

- 1) Site Plan and Architectural Plan Review requested by Kevin Sinnett, Instrument Development Corp., for the construction of an addition on the property located at 820 Swan Dr., known as MUKV1970987
- 2) Site Plan and Architectural Plan Review requested by Warren Hansen, WEH Properties/Edgewood Village, LLC, for the construction of apartment buildings on the property located at S92W27800 Edgewood Ave., known as MUKV2091998
- 3) Conditional Use Permit: To allow for outside merchandise sales by installing outdoor seating, Tina M. O'Bryan, DAA Smokehouse LLC, 325 Bay View Road Suites D and E, MUKV2009956005
- 4) Conditional Use Permit: To allow for an indoor theater, Eddie Cash, Eddie Cash Show, Inc., 575 Bay View Road Suite 7, MUKV2010978002
- 5) Conditional Use Permit: For the construction of building additions and renovations to Mukwonago High School and accessory structures on the property, Curt Wiebelhaus, Mukwonago Area School District, 605 CTH NN, MUKV1960998001

C. Protective Services Committee – Fire Dept Subcommittee

- 1) Request to use ACT 102 and Critical Care donation funds for the purchase of Ultra sound machine
- 2) Purchase of ambulance
- 3) \*Request to re-allocate the 2016 budget to purchase Stryker ambulance cot, Stair Pro, and Power Load System

9. New Business

*Discussion and Possible Action on the Following Items*

A. Administrator/Economic Development Director

- 1) Presentation and consideration of adoption of final Strategic Plan Report

- 2) Reduction in Payments to Contractor pertaining to the CTH NN Water Main Relay Project
- 3) Village of Mukwonago Dewey Industrial Park Rail Feasibility Study Findings Report
- 4) Attraction Strategies and Best Practices
- 5) Rental of Lynch site, located at 915 Main St., by Amato Ford for storage of vehicles

B. Finance Director

- 1) A resolution amending the 2016 adopted budgets for the General Fund and Fire Department Fund
- 2) \*Policy pertaining to use and administration of Family Medical Leave Act (FMLA) employee leaves

C. Village President

- 1) A resolution to urge the State of Wisconsin Governor and Legislature to agree upon a sustainable transportation funding solution

10. \*Convene into closed session pursuant to Wis. Stat. **§19.85(1)(c)** (*Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility*) and pursuant to Wis. Stat. **§19.85(1)(f)** (*Considering... medical... data of specific persons... which, if discussed in public, would be likely to have a substantial adverse effect upon the reputation of any person referred to in such histories or data...*) for discussion and possible action pertaining to the FMLA status of an employee.

11. \*Reconvene into open session pursuant to Wis. Stats. **§19.85(2)** for possible additional discussion and/or action concerning any matter discussed in closed session and/or any unfinished item remaining on the agenda

## 12. Adjournment

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Clerk's Office, 440 River Crest Court, (262) 363-6420, Option 4.

**RESOLUTION 2016-034**

**RESOLUTION EXTENDING APPRECIATION  
TO FORMER VILLAGE TRUSTEE ARNOLD FICKAU**

**WHEREAS**, Arnold (Arnie) Fickau has served the Village of Mukwonago as Village Trustee from 1980 to 1982, from 1983 to 2011, and from 2012 to 2016; and

**WHEREAS**, through such public service he has contributed to the economic and social well-being of the Village; and

**WHEREAS**, he has been unselfish with his time and energy in his dedication to the Village of Mukwonago and its constituents; and

**WHEREAS**, he has served on the Sewer and Water, Police and Sanitation, Streets and Lights, Finance, Health and Recreation, Protective Services, and Public Works Committees, the Plan Commission, Historic Preservation Commission, and Board of Review; and

**WHEREAS**, the Village Board desires to make a public declaration of appreciation for Arnie Fickau's contributions to the Village;

**NOW THEREFORE BE IT RESOLVED**, that a vote of appreciation and thanks be extended to Arnie Fickau for his dedicated service as a Village Trustee.

**PASSED AND ADOPTED** by the Village Board of the Mukwonago, Waukesha and Walworth Counties, Wisconsin this 16<sup>th</sup> day of August, 2016.

\_\_\_\_\_  
Fred H. Winchowky, Village President

Attest: \_\_\_\_\_  
Steven A. Braatz, Jr., Clerk-Treasurer

## MINUTES OF THE REGULAR VILLAGE BOARD MEETING Tuesday, July 19, 2016

### Call to Order

Village President Fred Winchowky called the meeting to order at 6:30 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

### Roll Call

Board Members present: Jay Vermeulen  
Darlene Johnson  
Jim Decker  
Mark Penzkover  
Kelly Klemme  
Ken Werner  
Fred Winchowky, Village President

Also present: Bruce Kaniewski, Planner  
Kevin Schmidt, Police Chief  
Jeff Stien, Fire Chief  
John Weidl, Administrator  
Diana Doherty, Finance Director  
Dave Brown, Utilities Director  
Robert Harley, Building Codes Official  
Ron Bittner, Public Works Director  
Kurt Peot, Engineer  
Judith Taubert, Deputy Clerk-Treasurer

### Pledge of Allegiance

The Village Board recited the Pledge of Allegiance.

### Announcement of closed session

President Winchowky announced the Board will convene into closed sessions later in the meeting pursuant to Wis. Stat. **§19.85(1)(e)** for discussion and possible action involving the potential acquisition of property.

### Comments from the Public

None

### Commendations from Police Chief

Police Chief Schmidt presented a letter of commendation to Officer Jose Ortiz, Officer Rebecca Ackman, and Reserve Officer Ryan Becht for their quick action and teamwork to an incident that occurred on July 3, 2016.

### Consent Agenda

- A. Approval of minutes for the June 21, 2016 regular meeting.
- B. Approval of Vouchers payable batches:
  - 1) M-6-2016-1 \$181,218.78
  - 2) M-6-2016-2 \$1,299.00
  - 3) LIBAP62016 \$15,412.83

4) AP-7-2016-1 \$71,569.39

5) AP-7-2016-2 \$286,809.93

C. Approval of contract renewal for assessment services with Associated Appraisal Services for the 2017-2019 tax years

D. Authorization of the Village Administrator to contract with a company to provide a hotel market study, not to exceed \$5,000

E. Approval of the Engineer Task Order for the Village Boat Launch Improvements Project

F. Approval of the engineering services agreement with Traffic Analysis & Design, Inc. to design the traffic signals at the STH 83 and Wolf Run intersection, not to exceed \$16,980

G. Approval to authorize the Village Attorney to file a claim on the letter of credit for Fairwinds Subdivision if work on the westerly pond and the park is not satisfactorily completed by August 1, 2016

H. Approval to reduce the letter of credit for The Orchards of Mukwonago Addn #2 subdivision to \$718,410 in accordance with the letter from the Village Engineer dated July 1, 2016

Motion by Johnson/Vermeulen to remove Item A. Approval of minutes for the June 21, 2016 regular meeting from the Consent Agenda carried.

Motion by Johnson/Vermeulen to approve the Consent Agenda as amended carried.

Page 5 of the June 21, 2016 minutes should be amended to reflect Johnson seconding the first Judicial Committee motion. Motion by Decker/Werner to approve the minutes for the June 21, 2016 regular meeting as amended carried.

## **Committee/Commission Reports**

### **Judicial Committee**

#### **Ordinance No. 917**

Motion by Klemme/Vermeulen to accept the Judicial Committee recommendation and adopt Ordinance No. 917: *An Ordinance to Amend Section 6-56 (8) of the Municipal Code of the Village of Mukwonago to Provide for the Authorization of the Village Clerk to Issue Alcohol Operators' Licenses* carried.

#### **Consideration of naming of CTH NN and CTH NN E to Village street name**

Motion by Vermeulen/Werner to name CTH NN and CTH NN E to Village street name of School Road. Discussion regarding the choice. Vermeulen/Werner withdrew motion with the suggestion to stay in committee and come back with a few suggestions. Item will stay in committee.

### **Plan Commission**

#### **Resolution 2016-032**

Motion by Penzkover/**Vermeulen** to accept the Plan Commission recommendation and adopt Resolution 2016-032: *Conditional Use Permit for the Construction of an Oil Change Facility and Drive-Up Window, John Theisen, Lighthouse Lubes Real Estate LLC, Marsh View Drive, MUKV1962990002* carried.

## **Protective Services Committee**

### **Resolution 2016-033**

Motion by Johnson/Decker to accept the Plan Commission recommendation and adopt Resolution 2016-033: Resolution to Petition the Wisconsin Office of the Commissioner of Railroads to Determine the Adequacy of Warning Devices at Indianhead Park Trail Crossing in the Village of Mukwonago carried.

### **Request to use ACT 102 and Critical Care donation funds for the purchase of Ultra sound machine using recurring funds**

Item will stay in committee. Information only. No action taken.

## **New Business**

### **Village President**

#### **100<sup>th</sup> Birthday Proclamation to Warren E. Hansen**

Motion by Johnson/Decker to endorse the signing of the 100<sup>th</sup> Birthday Proclamation to Warren E. Hansen carried.

#### **2016 National Night Out Proclamation**

Motion by Johnson/Decker to endorse the signing of the 2016 National Night Out Proclamation carried.

### **Appointments**

Motion by Penzkover/Werner to accept the Village President's recommendation and appoint Jason Wamser as an Economic Development Committee Regular Member for the term ending 2017 carried.

Motion by Decker/Johnson to accept the Village President's recommendation and appoint Richard J. Wrasman as Election Inspector for the 2016-2017 term carried.

#### **August Committee of the Whole meeting**

Motion by Vermeulen/Johnson to hold the next Committee of the Whole meeting on August 1 instead of August 2, 2016, due to the Village Board attendance at the 2016 National Night Out event carried.

#### **August Plan Commission meeting**

The next Plan Commission meeting will be held August 15 rather than August 9 due to the Fall Primary election. Information only. No action taken.

## **Village Administrator**

### **Appointments**

Motion by Werner/Decker to appoint Robert Harley as Supervisor of Inspections carried.

Motion by Werner/Klemme to appoint Bruce Kaniewski as Zoning Administrator carried.

## **Village Engineer**

### **Lighthouse Lube Real Estate, LLC**

Motion by Penzkover/Vermeulen to approve the Storm Water Management and Maintenance Agreement with Lighthouse Lube Real Estate, LLC carried.

Motion by Penzkover/Decker to convene into closed sessions at 7:05 p.m. pursuant to Wisc. Stat. **§19.85(1)(e)** (*Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session*) for discussion and possible action involving the potential acquisition of property carried unanimously upon roll call vote. Discussion held in closed session.

Motion by Penzkover/Decker to adjourn closed session and reconvene into open session at 8:56 p.m. pursuant to Wis. Stats. **§19.85(2)** for possible additional discussion and/or action concerning any matter discussed in closed session and/or any unfinished item remaining on the agenda carried unanimously upon roll call vote.

Motion by Penzkover/Decker to direct the DPW Director to send a letter of interest to possibly purchase property as discussed in closed session carried. Johnson voted no.

Motion by Penzkover/Klemme to authorize payment of earnest money to extend offer to sell for an additional nine months for property discussed in closed session, half of which will be reimbursed by developer if contract is terminated at end of contract carried.

Motion by Penzkover/Decker to direct Village Staff to prepare a budget amendment for \$10,000 to fund earnest money for property discussed in closed session.

Motion by Penzkover/Decker to direct Village Staff to work with developer on a revised contract for development of property as discussed in closed session carried.

**Adjournment**

Meeting adjourned at 8:58 p.m.

Respectfully Submitted,

Judith Taubert  
Deputy Clerk-Treasurer

## Vouchers Payable Cover Sheet

Manuals batch M-7-2016-1	\$163,127.09
Library batch LIBAP72016	\$ 20,383.49
Payments batch AP-8-2016-1	\$670,334.48
Total for board approval:	\$853,845.06

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## Payments

Current Period: July 2016

Batch Name	M-7-2016-1	User Dollar Amt	\$163,127.09		
Payments		Computer Dollar Amt	\$163,127.09		
				\$0.00	<b>In Balance</b>
Refer	76202 VANTAGEPOINT TRANSFER AGEN	Ck# 020347	7/1/2016		
Cash Payment	G 100-215250 Deferred Compensation	P/R ENDING 6/24/16			\$1,690.08
Invoice 6/24	7/1/2016				
Cash Payment	G 150-215250 Deferred Compensation	P/R ENDING 6/24/16			\$32.63
Invoice 6/24	7/1/2016				
Cash Payment	G 220-215250 Deferred Compensation	P/R ENDING 6/24/16			\$33.99
Invoice 6/24	7/1/2016				
Cash Payment	G 410-215250 Deferred Compensation	P/R ENDING 6/24/16			\$36.94
Invoice 6/24	7/1/2016				
Cash Payment	G 440-215250 Deferred Compensation	P/R ENDING 6/24/16			\$350.15
Invoice 6/24	7/1/2016				
Cash Payment	G 500-215250 Deferred Compensation	P/R ENDING 6/24/16			\$14.43
Invoice 6/24	7/1/2016				
Cash Payment	G 610-215250 Deferred Compensation	P/R ENDING 6/24/16			\$379.65
Invoice 6/24	7/1/2016				
Cash Payment	G 620-215250 Deferred Compensation	P/R ENDING 6/24/16			\$228.08
Invoice 6/24	7/1/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	\$2,765.95
Refer	76203 MUKWONAGO POLICE DEPT	Ck# 020379	7/7/2016		
Cash Payment	G 100-233200 Court Partial Payments	SARAH LARTZ CITATION N1285223/N1285047			\$795.00
Invoice N1285223	7/7/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	\$795.00
Refer	76204 LARTZ GARY	Ck# 020380	7/7/2016		
Cash Payment	G 100-233200 Court Partial Payments	SARH LARTZ OVERPAYMENT N1285223			\$191.80
Invoice N1285223	7/7/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	\$191.80
Refer	76205 MUKWONAGO POLICE DEPT	Ck# 020381	7/7/2016		
Cash Payment	G 100-233200 Court Partial Payments	HEIDI HYATT CITATION W100189			\$124.00
Invoice W100189	7/7/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	\$124.00
Refer	76206 ALVARO GEORGIA	Ck# 020382	7/14/2016		
Cash Payment	G 100-233200 Court Partial Payments	ERIKA ALVARO OVERPAYMENT N128097			\$5.00
Invoice N128097	7/14/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	\$5.00
Refer	76207 MUKWONAGO POLICE DEPT	Ck# 020383	7/14/2016		
Cash Payment	G 100-233200 Court Partial Payments	ERIKA ALVARO CITATION N128097/V951130			\$795.00
Invoice N128097	7/14/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	\$795.00
Refer	76208 AFLAC	Ck# 020384	7/15/2016		
Cash Payment	G 100-215300 Insurance Payable	JULY 2016 INVOICE			\$397.04
Invoice 148182	7/15/2016				
Cash Payment	G 150-215300 Insurance Payable	JULY 2016 INVOICE			\$212.67
Invoice 148182	7/15/2016				

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## Payments

Current Period: July 2016

<b>Cash Payment</b>	G 220-215300 Insurance Payable	JULY 2016 INVOICE			\$0.64
Invoice 148182	7/15/2016				
<b>Cash Payment</b>	G 410-215300 Insurance Payable	JULY 2016 INVOICE			\$2.38
Invoice 148182	7/15/2016				
<b>Cash Payment</b>	G 440-215300 Insurance Payable	JULY 2016 INVOICE			\$0.24
Invoice 148182	7/15/2016				
<b>Cash Payment</b>	G 610-215300 Insurance Payable	JULY 2016 INVOICE			\$128.10
Invoice 148182	7/15/2016				
<b>Cash Payment</b>	G 620-215300 Insurance Payable	JULY 2016 INVOICE			\$66.64
Invoice 148182	7/15/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	<b>\$807.71</b>
Refer	76209 MINNESOTA LIFE INSURANCE	Ck# 020385	7/15/2016		
<b>Cash Payment</b>	G 100-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$1,105.27
Invoice AUGUST 16	7/15/2016				
<b>Cash Payment</b>	G 150-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$101.44
Invoice AUGUST 16	7/15/2016				
<b>Cash Payment</b>	G 220-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$10.18
Invoice AUGUST 16	7/15/2016				
<b>Cash Payment</b>	G 410-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$11.74
Invoice AUGUST 16	7/15/2016				
<b>Cash Payment</b>	G 440-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$84.17
Invoice AUGUST 16	7/15/2016				
<b>Cash Payment</b>	G 500-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$6.00
Invoice AUGUST 16	7/15/2016				
<b>Cash Payment</b>	G 610-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$70.70
Invoice AUGUST 16	7/15/2016				
<b>Cash Payment</b>	G 620-215300 Insurance Payable	AUGUST 2016 PREMIUM			\$57.31
Invoice AUGUST 16	7/15/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	<b>\$1,446.81</b>
Refer	76210 VANTAGEPOINT TRANSFER AGEN	Ck# 020386	7/15/2016		
<b>Cash Payment</b>	G 100-215250 Deferred Compensation	P/R ENDING 7/8			\$1,580.65
Invoice 7/8	7/15/2016				
<b>Cash Payment</b>	G 150-215250 Deferred Compensation	P/R ENDING 7/8			\$45.22
Invoice 7/8	7/15/2016				
<b>Cash Payment</b>	G 220-215250 Deferred Compensation	P/R ENDING 7/8			\$33.99
Invoice 7/8	7/15/2016				
<b>Cash Payment</b>	G 410-215250 Deferred Compensation	P/R ENDING 7/8			\$36.94
Invoice 7/8	7/15/2016				
<b>Cash Payment</b>	G 440-215250 Deferred Compensation	P/R ENDING 7/8			\$350.26
Invoice 7/8	7/15/2016				
<b>Cash Payment</b>	G 500-215250 Deferred Compensation	P/R ENDING 7/8			\$15.52
Invoice 7/8	7/15/2016				
<b>Cash Payment</b>	G 610-215250 Deferred Compensation	P/R ENDING 7/8			\$401.90
Invoice 7/8	7/15/2016				
<b>Cash Payment</b>	G 620-215250 Deferred Compensation	P/R ENDING 7/8			\$199.62
Invoice 7/8	7/15/2016				
Transaction Date	7/15/2016	Citizens	111000	<b>Total</b>	<b>\$2,664.10</b>
Refer	76300 MUKWONAGO POLICE DEPT	Ck# 020497	7/27/2016		

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## Payments

Current Period: July 2016

<b>Cash Payment</b>	G 100-233200 Court Partial Payments	LINDA ARNSDORFF CITATION W100015		<b>\$811.00</b>
Invoice W100015	7/27/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$811.00</b>
Refer	76301 <u>MUKWONAGO POLICE DEPT</u>	Ck# 020498	7/27/2016	
<b>Cash Payment</b>	G 100-233200 Court Partial Payments	NATHAN ROZANSKE CITATION		<b>\$283.20</b>
Invoice W099952	7/27/2016	W099952/W099956/W099957		
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$283.20</b>
Refer	76302 <u>ROZANSKI NATHAN</u>	Ck# 020499	7/27/2016	
<b>Cash Payment</b>	G 100-233200 Court Partial Payments	OVERPAYMENT		<b>\$50.40</b>
Invoice W099952	7/27/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$50.40</b>
Refer	76303 <u>ARNSDORFF LINDA</u>	Ck# 020500	7/27/2016	
<b>Cash Payment</b>	G 100-233200 Court Partial Payments	OVERPAYMENT		<b>\$4.00</b>
Invoice W100015	7/27/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$4.00</b>
Refer	76304 <u>GREAT WEST RETIREMENT SERV</u>	Ck# 005981	7/1/2016	
<b>Cash Payment</b>	G 100-215250 Deferred Compensation	P/R ENDING 6/24/16		<b>\$853.48</b>
Invoice 6/24	7/1/2016			
<b>Cash Payment</b>	G 150-215250 Deferred Compensation	P/R ENDING 6/24/16		<b>\$86.26</b>
Invoice 6/24	7/1/2016			
<b>Cash Payment</b>	G 610-215250 Deferred Compensation	P/R ENDING 6/24/16		<b>\$100.63</b>
Invoice 6/24	7/1/2016			
<b>Cash Payment</b>	G 620-215250 Deferred Compensation	P/R ENDING 6/24/16		<b>\$100.63</b>
Invoice 6/24	7/1/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$1,141.00</b>
Refer	76305 <u>GREAT WEST RETIREMENT SERV</u>	Ck# 005982	7/15/2016	
<b>Cash Payment</b>	G 100-215250 Deferred Compensation	P/R ENDING 7/8/16		<b>\$853.48</b>
Invoice 7/8	7/15/2016			
<b>Cash Payment</b>	G 150-215250 Deferred Compensation	P/R ENDING 7/8/16		<b>\$86.26</b>
Invoice 7/8	7/15/2016			
<b>Cash Payment</b>	G 610-215250 Deferred Compensation	P/R ENDING 7/8/16		<b>\$100.63</b>
Invoice 7/8	7/15/2016			
<b>Cash Payment</b>	G 620-215250 Deferred Compensation	P/R ENDING 7/8/16		<b>\$100.63</b>
Invoice 7/8	7/15/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$1,141.00</b>
Refer	76306 <u>EMPLOYEE TRUST FUNDS</u>	Ck# 005983	7/15/2016	
<b>Cash Payment</b>	G 100-215300 Insurance Payable	PREMIUM AUGUST 2016		<b>\$47,287.86</b>
Invoice AUGUST 16	7/15/2016			
<b>Cash Payment</b>	G 150-215300 Insurance Payable	PREMIUM AUGUST 2016		<b>\$7,015.36</b>
Invoice AUGUST 16	7/15/2016			
<b>Cash Payment</b>	G 220-215300 Insurance Payable	PREMIUM AUGUST 2016		<b>\$301.86</b>
Invoice AUGUST 16	7/15/2016			
<b>Cash Payment</b>	G 410-215300 Insurance Payable	PREMIUM AUGUST 2016		<b>\$363.04</b>
Invoice AUGUST 16	7/15/2016			
<b>Cash Payment</b>	G 440-215300 Insurance Payable	PREMIUM AUGUST 2016		<b>\$4,501.97</b>
Invoice AUGUST 16	7/15/2016			

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Payments

Current Period: July 2016

Cash Payment	G 500-215300 Insurance Payable	PREMIUM AUGUST 2016	\$157.93
Invoice	AUGUST 16 7/15/2016		
Cash Payment	G 610-215300 Insurance Payable	PREMIUM AUGUST 2016	\$2,277.53
Invoice	AUGUST 16 7/15/2016		
Cash Payment	G 620-215300 Insurance Payable	PREMIUM AUGUST 2016	\$1,541.55
Invoice	AUGUST 16 7/15/2016		
Transaction Date	7/28/2016	Citizens 111000	<b>Total</b> \$63,447.10
Refer	76307 WI RETIREMENT SYSTEM	Ck# 005984 7/29/2016	
Cash Payment	G 100-215200 Retirement	JUNE 2016 PAYMENT	\$22,374.05
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 150-215200 Retirement	JUNE 2016 PAYMENT	\$6,188.93
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 220-215200 Retirement	JUNE 2016 PAYMENT	\$316.68
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 410-215200 Retirement	JUNE 2016 PAYMENT	\$231.72
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 440-215200 Retirement	JUNE 2016 PAYMENT	\$4,296.18
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 500-215200 Retirement	JUNE 2016 PAYMENT	\$63.16
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 610-215200 Retirement	JUNE 2016 PAYMENT	\$2,227.26
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 620-215200 Retirement	JUNE 2016 PAYMENT	\$1,593.92
Invoice	JUNE 16 7/29/2016		
Cash Payment	G 100-215200 Retirement	JUNE 2016 PAYMENT	\$0.07
Invoice	JUNE 16 7/29/2016		
Transaction Date	7/28/2016	Citizens 111000	<b>Total</b> \$37,291.97
Refer	76308 WE ENERGIES MLWAUKEE	Ck# 005985 7/31/2016	
Cash Payment	E 100-5160-5222 Electric	HALL	\$1,195.68
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5211-5222 Electric	FLASHERS	\$9.96
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5211-5222 Electric	PD	\$1,495.21
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5211-5222 Electric	PD GARAGE	\$63.87
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5254-5222 Electric	MUK DAM	\$24.00
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5323-5222 Electric	DPW ELECT	\$298.10
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5323-5224 Gas	DPW GAS	\$24.65
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5342-5222 Electric	StREET LIGHTS	\$10,976.63
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5342-5222 Electric	StREET LIGHTS	\$99.36
Invoice	7/31 7/31/2016		
Cash Payment	E 100-5342-5222 Electric	SCH CROSS LIGHTS	\$17.47
Invoice	7/31 7/31/2016		

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## Payments

Current Period: July 2016

Cash Payment	E 100-5512-5222 Electric	MUSEUM	\$236.50
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	ANDREWS ST	\$104.57
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	FLD PARK	\$119.98
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	FLD PARK BASEBALL LIGHTS	\$249.70
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	PaRKS	\$49.58
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	CONCESSION BLDG	\$839.76
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	PaRKS	\$25.09
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	FLD PARK SUMP PUMP	\$18.83
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	PaRKS	\$119.92
Invoice 7/31	7/31/2016		
Cash Payment	E 100-5521-5222 Electric	MiNIWAUKAN	\$46.99
Invoice 7/31	7/31/2016		
Cash Payment	E 150-5221-5222 Electric	FD	\$970.98
Invoice 7/31	7/31/2016		
Cash Payment	E 440-5511-5222 Electric	LiB ELECT	\$3,883.91
Invoice 7/31	7/31/2016		
Cash Payment	E 440-5511-5224 Gas	LiB GAS	\$136.68
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	WeLL #3 ELECT	\$2,218.91
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	WeLL #3 GAS	\$11.42
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	WeLL #4 ELECT	\$1,482.53
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	WeLL #4 GAS	\$16.37
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	WeLL #5	\$1,444.28
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	WeLL #6	\$944.23
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	WeLL #7	\$831.70
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	GREENWALD	\$314.61
Invoice 7/31	7/31/2016		
Cash Payment	E 610-6200-6622 Fuel or Power Purchase	TOWER	\$32.54
Invoice 7/31	7/31/2016		
Cash Payment	E 620-8020-8210 Pumping Power & Fuel	ATKINSON PUMP	\$414.67
Invoice 7/31	7/31/2016		
Cash Payment	E 620-8020-8210 Pumping Power & Fuel	FOX RIVER VIEW	\$81.32
Invoice 7/31	7/31/2016		
Cash Payment	E 620-8020-8210 Pumping Power & Fuel	1224 RIVERTON	\$68.93
Invoice 7/31	7/31/2016		

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Payments

Current Period: July 2016

Cash Payment	E 620-8020-8210 Pumping Power & Fuel	1240 N ROCHESTER		\$85.38
Invoice 7/31	7/31/2016			
Cash Payment	E 620-8010-8211 WWTP Electric Power	HoLZ ELECT		\$6,323.77
Invoice 7/31	7/31/2016			
Cash Payment	E 620-8010-8212 Nat Gas/Admin Bldg/Hea	HoLZ GAS		\$10.56
Invoice 7/31	7/31/2016			
Cash Payment	E 620-8010-8212 Nat Gas/Admin Bldg/Hea	DIGESTER GAS		\$10.56
Invoice 7/31	7/31/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b> \$35,299.20
Refer	76309 WI DEPT OF REVENUE QTRLY TA	Ck# 005986	7/26/2016	
Cash Payment	E 410-5140-5399 Other	2ND QTR 2016 SALE/USE TAX		\$6.75
Invoice 2ND QTR 2016	7/26/2016			
Cash Payment	E 440-5511-5399 Other	2ND QTR 2016 SALE/USE TAX		\$76.72
Invoice 2ND QTR 2016	7/26/2016			
Cash Payment	E 440-5511-5399 Other	2ND QTR 2016 SALE/USE TAX		\$18.35
Invoice 2ND QTR 2016	7/26/2016			
Cash Payment	E 100-5521-5399 Other	2ND QTR 2016 SALE/USE TAX		\$158.21
Invoice 2ND QTR 2016	7/26/2016			
Cash Payment	E 100-5160-5399 Other	2ND QTR 2016 SALE/USE TAX		\$14.52
Invoice 2ND QTR 2016	7/26/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b> \$274.55
Refer	76310 TASC	Ck# 005987	7/25/2016	
Cash Payment	E 620-8400-8560 Misc General Expense	FLEX - AUGUST 16		\$15.63
Invoice 834119	7/25/2016			
Cash Payment	E 610-6920-6930 Misc General Expenses	FLEX - AUGUST 16		\$15.63
Invoice 834119	7/25/2016			
Cash Payment	E 440-5511-5399 Other	FLEX - AUGUST 16		\$20.84
Invoice 834119	7/25/2016			
Cash Payment	E 150-5221-5399 Other	FLEX - AUGUST 16		\$31.26
Invoice 834119	7/25/2016			
Cash Payment	E 100-5241-5399 Other	FLEX - AUGUST 16		\$15.63
Invoice 834119	7/25/2016			
Cash Payment	E 100-5211-5399 Other	FLEX - AUGUST 16		\$52.10
Invoice 834119	7/25/2016			
Cash Payment	E 100-5212-5399 Other	FLEX - AUGUST 16		\$52.10
Invoice 834119	7/25/2016			
Cash Payment	E 100-5213-5311 Supplies	FLEX - AUGUST 16		\$10.42
Invoice 834119	7/25/2016			
Cash Payment	E 100-5142-5399 Other	FLEX - AUGUST 16		\$31.26
Invoice 834119	7/25/2016			
Cash Payment	E 100-5323-5311 Supplies	FLEX - AUGUST 16		\$26.05
Invoice 834119	7/25/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b> \$270.92
Refer	76311 GREAT WEST RETIREMENT SERV	Ck# 005988	7/29/2016	
Cash Payment	G 100-215250 Deferred Compensation	P/R ENDING 7/22/2016		\$803.48
Invoice 7/22	7/29/2016			
Cash Payment	G 150-215250 Deferred Compensation	P/R ENDING 7/22/2016		\$86.26
Invoice 7/22	7/29/2016			

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Payments

Current Period: July 2016

Cash Payment	G 610-215250	Deferred Compensation	P/R ENDING 7/22/2016	\$100.63
Invoice	7/22	7/29/2016		
Cash Payment	G 620-215250	Deferred Compensation	P/R ENDING 7/22/2016	\$100.63
Invoice	7/22	7/29/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b> \$1,091.00
Refer	76312	JP MORGAN CHASE	Ck# 005989	7/28/2016
Cash Payment	E 100-5323-5311	Supplies	WaLMART-OFFICE SUPPLIES-#9356ter Sales-Other	\$14.32
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5160-5311	Supplies	MeNARDS-AUTO FLUSHERS-#9356ter Water Sales - Commercial	\$147.00
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5521-5311	Supplies	UPBEAT-PARK BENCH-#9356	\$1,178.38
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5211-5395	Repairs & Maintenance	AmAZON-SPEAKERS FOR DISPATCH-#9430	\$23.87
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5211-5399	Other	AFP-AWARDS-#1646	\$30.00
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5211-5335	Training & Travel	VARIOUS-TRAVEL-#1646	\$695.85
Invoice	JULY 16	7/28/2016		
Cash Payment	E 220-5140-5335	Training & Travel	KWIK TRIP-FOOD-#3311	\$20.44
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5141-5335	Training & Travel	LOCKES CANTINA-FOOD-#3311	\$16.12
Invoice	JULY 16	7/28/2016		
Cash Payment	E 220-5140-5219	Professional Services	LINKEDIN-#3311	\$59.99
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5141-5398	Employee Recognition	WaLMART-CHAMBER BUSINESS AFTER 5-#9283	\$190.75
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5215-5335	Training & Travel	UWW CAMPS-KREISER-#5772	\$25.00
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5141-5398	Employee Recognition	CERIF-A-GIFT-AWARDS-#8848	\$1,898.39
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5142-5335	Training & Travel	VARIOUS-MEALS-#8848	\$206.33
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5144-5335	Training & Travel	VARIOUS-MEALS/HOTELS-#8848	\$94.81
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5144-5332	Mileage	VARIOUS-GAS-#8848	\$41.49
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5142-5332	Mileage	VARIOUS-GAS-#8848	\$91.38
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5141-5225	Telephone	GMAIL-#8848	\$24.99
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5241-5225	Telephone	GMAIL-#8848	\$10.71
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5142-5225	Telephone	GMAIL-#8848	\$14.28
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5323-5225	Telephone	GMAIL-#8848	\$7.14
Invoice	JULY 16	7/28/2016		

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Current Period: July 2016

Cash Payment	E 100-5111-5399 Other	GMAIL-#8848		\$24.99
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5632-5399 Other	GMAIL-#8848		\$3.57
Invoice	JULY 16	7/28/2016		
Cash Payment	E 100-5211-5395 Repairs & Maintenance	SpEEDTECH LIGHTS-#5772		\$199.99
Invoice	JULY 16	7/28/2016		
Cash Payment	E 150-5223-5311 Supplies	WaLMART-BINDERS-#8764		\$10.02
Invoice	JULY 16	7/28/2016		
Cash Payment	E 150-5222-5311 Supplies	AmAZON-SUPPLIES-#2334		\$82.32
Invoice	JULY 16	7/28/2016		
Cash Payment	E 150-5232-5311 Supplies	AmAZON-SUPPLIES-#2334		\$132.88
Invoice	JULY 16	7/28/2016		
Cash Payment	E 150-5221-5395 Repairs & Maintenance	HoME DEPOT-MOLDING/SEAT-#2334		\$32.85
Invoice	JULY 16	7/28/2016		
Cash Payment	E 150-5221-5311 Supplies	WaLMART-PICTURES-#2334		\$1.45
Invoice	JULY 16	7/28/2016		
Cash Payment	E 410-5140-5311 Supplies	AmAZON-PENS-#8848		\$6.25
Invoice	JULY 16	7/28/2016		
Cash Payment	E 410-5140-5335 Training & Travel	VARIOUS-GAS/HOTEL-#8848		\$127.51
Invoice	JULY 16	7/28/2016		
Cash Payment	E 340-5890-5806 Donated Fund Expenditu	NAT NITE OUT-SUPPLIES-#1646		\$129.00
Invoice	JULY 16	7/28/2016		
Cash Payment	E 440-5511-5340 Digital Materials	MAILCHIMP-DATA-1900		\$50.00
Invoice	JULY 16	7/28/2016		
Cash Payment	E 440-5511-5311 Supplies	VARIOUS-SUPPLIES-#1900		\$228.18
Invoice	JULY 16	7/28/2016		
Cash Payment	E 440-5890-5806 Donated Fund Expenditu	VARIOUS-SUPPLIES-#1900		\$770.89
Invoice	JULY 16	7/28/2016		
Cash Payment	E 610-6920-6921 Office Supplies & Expen	OFFICE MAX-PRINTER-INK-#6855		\$343.00
Invoice	JULY 16	7/28/2016		
Cash Payment	E 610-6210-6625 Maintenance-Pumping	HoME DEPOT-SUPPLIES-#6855		\$134.16
Invoice	JULY 16	7/28/2016		
Cash Payment	E 610-6310-6635 Maintenance-Water Trea	HoME DEPOT-SUPPLIES-#6855		\$274.55
Invoice	JULY 16	7/28/2016		
Cash Payment	E 610-6920-6921 Office Supplies & Expen	GMAIL-#8848		\$7.16
Invoice	JULY 16	7/28/2016		
Cash Payment	E 620-8400-8510 Office Supplies & Expen	OFFICE MAX-PRINTER INK-#6855		\$343.01
Invoice	JULY 16	7/28/2016		
Cash Payment	E 620-8400-8510 Office Supplies & Expen	GMAIL-#8848		\$7.16
Invoice	JULY 16	7/28/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b> \$7,700.18
Refer	76313 MUKWONAGO PROFESSIONAL PO Ck# 020502 7/26/2016			
Cash Payment	G 100-215500 Union Dues Payable	JULY DUES		\$693.00
Invoice	JULY 16	7/26/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b> \$693.00
Refer	76314 MUKWONAGO PROFESSIONAL FI Ck# 020503 7/26/2016			
Cash Payment	G 150-215500 Union Dues Payable	JULY DUES		\$405.00
Invoice	JULY 16	7/26/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b> \$405.00

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## Payments

Current Period: July 2016

Transaction Date	7/28/2016	Citizens	111000	Total	\$2,106.90
Refer	76315	VILLAGE OF MUKWONAGO MRA	Ck# 020504	7/29/2016	
Cash Payment	G 100-215350 Flexible Spending Contributi	JULY PAYMENTS			\$1,648.65
Invoice	JULY 16	7/29/2016			
Cash Payment	G 150-215350 Flexible Spending Contributi	JULY PAYMENTS			\$332.84
Invoice	JULY 16	7/29/2016			
Cash Payment	G 220-215350 Flexible Spending Contributi	JULY PAYMENTS			\$17.19
Invoice	JULY 16	7/29/2016			
Cash Payment	G 410-215350 Flexible Spending Contributi	JULY PAYMENTS			\$8.64
Invoice	JULY 16	7/29/2016			
Cash Payment	G 440-215350 Flexible Spending Contributi	JULY PAYMENTS			\$2.56
Invoice	JULY 16	7/29/2016			
Cash Payment	G 500-215350 Flexible Spending Contributi	JULY PAYMENTS			\$7.02
Invoice	JULY 16	7/29/2016			
Cash Payment	G 610-215350 Flexible Spending Contributi	JULY PAYMENTS			\$67.96
Invoice	JULY 16	7/29/2016			
Cash Payment	G 620-215350 Flexible Spending Contributi	JULY PAYMENTS			\$22.04
Invoice	JULY 16	7/29/2016			
Transaction Date	7/28/2016	Citizens	111000	Total	\$2,106.90

Transaction Date	7/28/2016	Citizens	111000	Total	\$1,521.30
Refer	76316	PAYROLLDATA.COM	Ck# 005991	7/31/2016	
Cash Payment	E 100-5142-5399 Other	JULY FEES			\$327.54
Invoice	JULY 2016	7/31/2016			
Cash Payment	E 150-5221-5219 Professional Services	JULY FEES			\$288.74
Invoice	JULY 2016	7/31/2016			
Cash Payment	E 440-5511-5399 Other	JULY FEES			\$288.74
Invoice	JULY 2016	7/31/2016			
Cash Payment	E 610-6920-6930 Misc General Expenses	JULY FEES			\$308.14
Invoice	JULY 2016	7/31/2016			
Cash Payment	E 620-8400-8560 Misc General Expense	JULY FEES			\$308.14
Invoice	JULY 2016	7/31/2016			
Transaction Date	7/28/2016	Citizens	111000	Total	\$1,521.30

### Fund Summary

	111000 Citizens
100 GENERAL FUND	\$103,989.55
150 FIRE/AMBULANCE FUND	\$16,143.37
220 TID#3 - GENERAL	\$794.96
340 VILLAGE DESIGNATED FUND	\$129.00
410 RECYCLING FUND	\$831.91
440 LIBRARY FUND	\$15,059.84
500 STORM WATER UTILITY	\$264.06
610 WATER UTILITY FUND	\$14,234.22
620 SEWER UTILITY FUND	\$11,680.18
	<hr/>
	\$163,127.09

Pre-Written Checks	\$163,127.09
Checks to be Generated by the Computer	\$0.00
Total	<hr/> \$163,127.09

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## Payments

Current Period: August 2016

Batch Name	AP-8-2016-1	User Dollar Amt	\$670,334.48		
Payments		Computer Dollar Amt	\$670,334.48		
				\$0.00	<b>In Balance</b>
Refer	76239 AIRGAS NORTH CENTRAL	-			
Cash Payment	E 150-5231-5311 Supplies	OXYGEN			\$328.53
Invoice	9053404564 7/14/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$328.53
Refer	76240 AMATO FORD	-			
Cash Payment	E 430-5700-5711 Police Dept Capital Exp	2017 FORD EXPLORER			\$32,052.50
Invoice	24032 7/22/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$32,052.50
Refer	76241 AM TOWING	-			
Cash Payment	E 100-5212-5219 Professional Services	IMPOUND TOWS			\$125.00
Invoice	30350 7/16/2016				
Cash Payment	E 100-5212-5219 Professional Services	IMPOUND TOWS			\$125.00
Invoice	30523 7/17/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$250.00
Refer	76242 ANDERSON COMMERCIAL GROUP	-			
Cash Payment	E 100-5670-5219 Professional Services	REIMBURSEMENT NON-REFUNDABLE EARNEST MONEY			\$10,000.00
Invoice	3436 7/20/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$10,000.00
Refer	76243 ARNOLDS ENVIRONMENTAL SER	-			
Cash Payment	E 100-5521-5311 Supplies	360 MCKENZIE DR			\$296.00
Invoice	55235 7/13/2016				
Cash Payment	E 100-5521-5311 Supplies	MINOR PARK EAST			\$148.00
Invoice	57228 7/15/2016				
Cash Payment	E 100-5521-5311 Supplies	WASHINGTON			\$74.00
Invoice	57229 7/15/2016				
Cash Payment	E 100-5521-5311 Supplies	HOLZ PARKWAY			\$74.00
Invoice	57230 7/15/2016				
Cash Payment	E 100-5521-5311 Supplies	HWY LO			\$74.00
Invoice	57231 7/15/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$666.00
Refer	76244 ASSOCIATED APPRAISAL	-			
Cash Payment	E 100-5153-5219 Professional Services	CONTRACT SERVICE			\$1,362.27
Invoice	121905 7/15/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$1,362.27
Refer	76245 AUTO BRAKE CLUTCH & GEAR CO	-			
Cash Payment	E 150-5222-5395 Repairs & Maintenance	UNIT 3462			\$8.60
Invoice	352302 7/22/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$8.60
Refer	76246 BOUND TREE MEDICAL	-			
Cash Payment	E 150-5231-5311 Supplies	SUCTION CATHETER SYSTEM			\$27.29
Invoice	82210558 7/15/2016				

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## Payments

Current Period: August 2016

<b>Cash Payment</b>	E 150-5231-5311 Supplies	PuLL STRAPS/MUCOSAL ATOMIZATION		\$151.68
Invoice	82209160	7/14/2016		
<b>Cash Payment</b>	E 150-5231-5311 Supplies	COLD PACK		\$15.42
Invoice	82204160	7/11/2016		
<b>Cash Payment</b>	E 150-5231-5311 Supplies	VENTILATOR/MASK		\$484.09
Invoice	82204161	7/11/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$678.48
Refer	76247 BUTLER ELECTRIC	-		
<b>Cash Payment</b>	E 100-5211-5395 Repairs & Maintenance	TOWER BLDG HOOK UP FOR WE ENERGIES		\$85.00
Invoice	981 TOWER	7/16/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$85.00
Refer	76248 CENTURY SPRINGS BOTTLING	-		
<b>Cash Payment</b>	E 620-8010-8260 Other Chemicals	DISTILLED WATER		\$137.00
Invoice	1967488	7/19/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$137.00
Refer	76249 CHOICE 1 HEALTH CARE SERVICE	-		
<b>Cash Payment</b>	E 150-5231-5311 Supplies	TEST STRIPS		\$249.50
Invoice	5699	7/13/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$249.50
Refer	76250 CLEAN MATS	-		
<b>Cash Payment</b>	E 100-5160-5219 Professional Services	JUNE MATS		\$56.80
Invoice	39298	7/2/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$56.80
Refer	76251 DAVID FORJAN OVERHEAD DOOR	-		
<b>Cash Payment</b>	E 610-6920-6935 Maintenance-General PI	HOLZ PARKWAY		\$442.50
Invoice	7/19	7/19/2016		
<b>Cash Payment</b>	E 620-8010-8340 Maint-General Plant/Stru	HOLZ PARKWAY		\$442.50
Invoice	7/19	7/19/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$885.00
Refer	76252 EXCEL BUILDING SERVICES	-		
<b>Cash Payment</b>	E 100-5211-5394 Bldg Repairs & Maintena	JULY 2016		\$975.00
Invoice	2620	7/14/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$975.00
Refer	76253 FASTENAL COMPANY	-		
<b>Cash Payment</b>	E 610-6310-6635 Maintenance-Water Trea	SUPPLIES		\$11.51
Invoice	WIMUK61586	7/13/2016		
<b>Cash Payment</b>	E 610-6454-6654 Maintenance-Hydrants	SUPPLIES		\$6.00
Invoice	WIMUK61583	7/13/2016		
<b>Cash Payment</b>	E 620-8010-8330 Maint-Treatment/Dispos	SUPPLIES		\$23.04
Invoice	WIMUK61516	7/11/2016		
<b>Cash Payment</b>	E 620-8030-8310 Maint-Collection System	SUPPLIES		\$47.98
Invoice	WIMUK61482	7/8/2016		
<b>Cash Payment</b>	E 620-8030-8310 Maint-Collection System	SaFETY CONES		\$239.90
Invoice	WIMUK61466	7/7/2016		
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b> \$328.43
Refer	76255 GARDEN MART/THE	-		

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<b>Cash Payment</b>	E 100-5611-5311 Supplies	TREE FOOD			\$23.19
Invoice 47354	6/28/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$23.19
Refer	76256 GENESIS EXCAVATORS, INC.	-			
<b>Cash Payment</b>	G 610-000108 CIP-Utility Mains Projects	PAYMENT #2			\$239,482.99
Invoice 2	6/21/2016			Project W00004	
<b>Cash Payment</b>	G 620-000108 CIP-Utility Mains Projects	PAYMENT #2			\$5,206.16
Invoice 2	6/21/2016			Project W00004	
<b>Cash Payment</b>	E 480-5700-5850 Multi-Use Trail	PAYMENT #2			\$15,618.44
Invoice 2	6/21/2016			Project W00004	
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$260,307.59
Refer	76257 GOVERNMENT FINANCE	-			
<b>Cash Payment</b>	E 100-5141-5335 Training & Travel	JULY SEMINAR			\$85.00
Invoice SEM 2016	7/25/2016				
<b>Cash Payment</b>	E 100-5141-5335 Training & Travel	OCTOBER SEMINAR			\$70.00
Invoice SEM 2016	7/25/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$155.00
Refer	76258 HAWKINS WATER TREATMENT	-			
<b>Cash Payment</b>	E 620-8010-8240 Phosphorous Removal C	FERRIC CHLORIDE			\$1,046.40
Invoice 3913598	7/7/2016				
<b>Cash Payment</b>	E 610-6300-6631 Chemicals	AQUA HAWK/FERRIC CHLORDIE			\$1,720.32
Invoice 3917589	7/14/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$2,766.72
Refer	76259 HIPPENMEYER, REILLY	-			
<b>Cash Payment</b>	E 100-5130-5219 Professional Services	MiSC MATTERS			\$1,442.75
Invoice 42877	7/19/2016				
<b>Cash Payment</b>	G 100-211425 Developer Escrow	ORCHARDS			\$41.25
Invoice 42878	7/19/2016			Project D00011	
<b>Cash Payment</b>	G 100-211425 Developer Escrow	FAIRWINDS			\$82.50
Invoice 42879	7/19/2016			Project D00007	
<b>Cash Payment</b>	E 100-5130-5219 Professional Services	LYNCH SITE			\$198.00
Invoice 42880	7/19/2016				
<b>Cash Payment</b>	E 150-5221-5219 Professional Services	FD			\$445.50
Invoice 42881	7/19/2016				
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	LIGHTHOUSE LUBE			\$165.00
Invoice 42882	7/19/2016				
<b>Cash Payment</b>	E 100-5130-5219 Professional Services	PROSECUTION			\$1,673.00
Invoice 42883	7/19/2016				
<b>Cash Payment</b>	E 100-5130-5219 Professional Services	MiSC MATTERS			\$875.00
Invoice 42920	7/27/2016				
<b>Cash Payment</b>	G 100-211425 Developer Escrow	ORCHARDS			\$165.00
Invoice 42921	7/27/2016			Project D00011	
<b>Cash Payment</b>	G 100-211425 Developer Escrow	FAIRWINDS			\$49.50
Invoice 42922	7/27/2016			Project D00007	
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	LYNCH			\$123.75
Invoice 42923	7/27/2016				
<b>Cash Payment</b>	E 150-5221-5219 Professional Services	AmB CLAIMS FROM ACCIDENT			\$168.50
Invoice 42924	7/27/2016				

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Cash Payment	G 100-211400 Billable Disbursements	THEISEN LUBE			\$66.00
Invoice 42925	7/27/2016				
Cash Payment	E 100-5130-5219 Professional Services	PROSECUTION			\$1,092.00
Invoice 42926	7/27/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	<b>\$6,587.75</b>
Refer	76260 HOME DEPOT				
Cash Payment	E 610-6454-6654 Maintenance-Hydrants	FILTER			\$6.76
Invoice 49271	7/21/2016				
Cash Payment	E 100-5521-5311 Supplies	PICNIC TABLE REPAIR SUPPLIES			\$146.08
Invoice 27090	7/18/2016				
Cash Payment	E 100-5220-5394 Bldg Repairs & Maintena	USB OUTLETS			\$61.32
Invoice 28221	7/20/2016				
Cash Payment	E 100-5220-5394 Bldg Repairs & Maintena	RETURNS			-\$64.45
Invoice 28296	7/20/2016				
Cash Payment	E 100-5323-5311 Supplies	ELECTRICAL TOOLS			\$69.18
Invoice 28304	7/20/2016				
Cash Payment	E 100-5160-5821 Improvements	REMODEL			\$353.98
Invoice 27181	7/18/2016				
Cash Payment	E 100-5160-5821 Improvements	RETURNS			-\$190.15
Invoice 27538	7/19/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	<b>\$382.72</b>
Refer	76261 JEFFERSON FIRE & SAFETY				
Cash Payment	E 150-5222-5811 Equipment (non-Capitaliz	PaRA-TEK HOOD			\$607.96
Invoice 228283	7/12/2016				
Cash Payment	E 150-5222-5395 Repairs & Maintenance	SWAT GAUGE LINE			\$349.90
Invoice 228471	7/19/2016				
Cash Payment	E 150-5222-5395 Repairs & Maintenance	CYLINDER REPAIR/PARTS			\$75.00
Invoice 228470	7/19/2016				
Cash Payment	E 150-5222-5811 Equipment (non-Capitaliz	COAT/PANTS			\$3,520.00
Invoice 228529	7/20/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	<b>\$4,552.86</b>
Refer	76262 JOHNS DISPOSAL				
Cash Payment	E 410-5140-5220 Contractual Services	GarBAGE			\$20,780.56
Invoice 81532	7/26/2016				
Cash Payment	E 410-5140-5310 Outside Services	RECYCLE			\$12,586.80
Invoice 81532	7/26/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	<b>\$33,367.36</b>
Refer	76263 JOHNSON & SONS PAVING, LLC				
Cash Payment	E 480-5700-5861 Road Projects	BAYVIEW RD PAVING			\$24,992.00
Invoice 1580	7/21/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	<b>\$24,992.00</b>
Refer	76264 LANGE ENTERPRISES				
Cash Payment	E 100-5348-5311 Supplies	ROAD SIGNS			\$1,331.60
Invoice 58562	7/19/2016				
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	<b>\$1,331.60</b>
Refer	76265 LYNCH CHEVROLET				

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<b>Cash Payment</b>	E 430-5700-5712 DPW Capital Exp	2016 CHEVY SILVERADO35			\$59,873.00
Invoice	207521	7/15/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$59,873.00
Refer	76266	MUKWONAGO FIRE DEPT	-		
<b>Cash Payment</b>	G 720-250015 Due to Fire/Ambulance	AUGUST 16 MONTHLY TAX			\$17,500.00
Invoice	AUG 4	8/4/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$17,500.00
Refer	76267	OLSEN SAFETY EQUIPMENT	-		
<b>Cash Payment</b>	E 610-6450-6650 Maint-Distr Reservoir/Pip	RESPIRATORS			\$645.86
Invoice	332728	7/6/2016			
<b>Cash Payment</b>	E 620-8020-8270 Operation Supply/Expen	RESPIRATORS			\$645.87
Invoice	332728	7/6/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$1,291.73
Refer	76268	PETERSON RANDY	-		
<b>Cash Payment</b>	E 100-5323-5348 Safety Supplies	REIMBURSE SHOES			\$100.00
Invoice	4154	7/22/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$100.00
Refer	76269	PIRANHA PAPER SHREDDING	-		
<b>Cash Payment</b>	E 100-5211-5394 Bldg Repairs & Maintena	CONTRACT SERVICE			\$50.00
Invoice	1570071416	7/14/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$50.00
Refer	76270	PRINT PACK & SHIP CENTER	-		
<b>Cash Payment</b>	E 610-6920-6923 Outside Services Employ	SHIPPING			\$345.07
Invoice	23445	7/12/2016			
<b>Cash Payment</b>	E 100-5142-5219 Professional Services	SHIPPING			\$30.00
Invoice	23445	7/12/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$375.07
Refer	76271	PROHEALTH CARE INC	-		
<b>Cash Payment</b>	E 150-5231-5311 Supplies	DRUG SUPPLIES			\$926.27
Invoice	JUNE 16	6/30/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$926.27
Refer	76272	QUILL CORPORATION	-		
<b>Cash Payment</b>	E 100-5211-5395 Repairs & Maintenance	EAR PHONE REPLACE PADS			\$35.92
Invoice	7295082	7/12/2016			
<b>Cash Payment</b>	E 100-5211-5311 Supplies	COMMENDATION SUPPLIES			\$26.77
Invoice	7313879	7/12/2016			
<b>Cash Payment</b>	E 100-5211-5311 Supplies	PRINTER INK			\$22.18
Invoice	7276811	7/11/2016			
<b>Cash Payment</b>	E 100-5211-5311 Supplies	SUPPLIES			\$50.90
Invoice	7210111	7/7/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$135.77
Refer	76273	REINDERS, INC.	-		
<b>Cash Payment</b>	E 100-5324-5395 Repairs & Maintenance	TORO TIRES			\$138.72
Invoice	1645741.00	7/18/2016			
<b>Cash Payment</b>	E 100-5611-5311 Supplies	TREE BAGS			\$207.46
Invoice	1646357.00	7/21/2016			

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<b>Cash Payment</b>	E 100-5324-5395	Repairs & Maintenance	TORO PARTS						\$30.92
Invoice	1646230.00	7/20/2016							
Transaction Date	7/27/2016		Citizens	111000			<b>Total</b>		\$377.10
Refer	76274	RICOH AMERICAS CORPORATION							
<b>Cash Payment</b>	E 150-5221-5311	Supplies	AUGUST 16						\$104.28
Invoice	21594228	7/15/2016							
<b>Cash Payment</b>	E 100-5142-5312	Printing	COPY USAGE						\$89.86
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 150-5221-5311	Supplies	COPY USAGE						\$83.45
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 220-5140-5312	Printing	COPY USAGE						\$6.42
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 410-5140-5312	Printing	COPY USAGE						\$12.84
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 440-5511-5312	Printing	COPY USAGE						\$32.10
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 500-5140-5312	Printing	COPY USAGE						\$6.42
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 610-6920-6930	Misc General Expenses	COPY USAGE						\$211.83
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 620-8400-8560	Misc General Expense	COPY USAGE						\$198.99
Invoice	5043323289	7/12/2016							
<b>Cash Payment</b>	E 100-5142-5312	Printing	AUGUST 16						\$24.12
Invoice	21594229	7/15/2016							
<b>Cash Payment</b>	E 150-5221-5311	Supplies	AUGUST 16						\$22.38
Invoice	21594229	7/15/2016							
<b>Cash Payment</b>	E 220-5140-5312	Printing	AUGUST 16						\$1.72
Invoice	21594229	7/15/2016							
<b>Cash Payment</b>	E 410-5140-5312	Printing	AUGUST 16						\$3.44
Invoice	21594229	7/15/2016							
<b>Cash Payment</b>	E 440-5511-5312	Printing	AUGUST 16						\$8.61
Invoice	21594229	7/15/2016							
<b>Cash Payment</b>	E 500-5140-5312	Printing	AUGUST 16						\$1.72
Invoice	21594229	7/15/2016							
<b>Cash Payment</b>	E 610-6920-6930	Misc General Expenses	AUGUST 16						\$56.82
Invoice	21594229	7/15/2016							
<b>Cash Payment</b>	E 620-8400-8560	Misc General Expense	AUGUST 16						\$53.38
Invoice	21594229	7/15/2016							
Transaction Date	7/27/2016		Citizens	111000			<b>Total</b>		\$918.38
Refer	76275	SHERWIN-WILLIAMS							
<b>Cash Payment</b>	E 610-6454-6654	Maintenance-Hydrants	HyDRANT PAINT						\$299.00
Invoice	7681-1	7/22/2016							
<b>Cash Payment</b>	E 610-6454-6654	Maintenance-Hydrants	HyDRANT PAINT						\$17.99
Invoice	3272-7	7/21/2016							
<b>Cash Payment</b>	E 610-6454-6654	Maintenance-Hydrants	HyDRANT PAINT						\$698.16
Invoice	7177-0	7/13/2016							
<b>Cash Payment</b>	E 610-6454-6654	Maintenance-Hydrants	HyDRANT PAINT						\$888.60
Invoice	3294-1	7/27/2016							
Transaction Date	7/27/2016		Citizens	111000			<b>Total</b>		\$1,903.75

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Refer	76276	SMART DAN	-				
Cash Payment	E 100-5120-5311	Supplies	PRINTER INK			\$105.99	
Invoice	1376405	7/21/2016					
Transaction Date	7/27/2016		Citizens	111000	<b>Total</b>	\$105.99	
Refer	76277	SWITS, LTD	-				
Cash Payment	E 100-5120-5399	Other	INTERPRETING SERVICE			\$130.00	
Invoice	36290	7/15/2016					
Transaction Date	7/27/2016		Citizens	111000	<b>Total</b>	\$130.00	
Refer	76278	TOWN OF MUKWONAGO	-				
Cash Payment	E 100-5144-5311	Supplies	VOTED STICKERS			\$38.40	
Invoice	7/1	7/1/2016					
Transaction Date	7/27/2016		Citizens	111000	<b>Total</b>	\$38.40	
Refer	76279	TRACTOR SUPPLY CREDIT PLAN	-				
Cash Payment	E 610-6454-6654	Maintenance-Hydrants	BLASTING GRIT			\$63.92	
Invoice	262737	7/25/2016					
Cash Payment	E 610-6454-6654	Maintenance-Hydrants	SUPPLIES			\$54.98	
Invoice	261535	7/13/2016					
Cash Payment	E 100-5611-5311	Supplies	StUMP KILLER			\$35.98	
Invoice	261332	7/11/2016					
Cash Payment	E 100-5521-5311	Supplies	GRASS SEED			\$54.99	
Invoice	290017	7/20/2016					
Cash Payment	E 610-6454-6654	Maintenance-Hydrants	SUPPLIES			\$289.92	
Invoice	288718	7/13/2016					
Cash Payment	E 610-6454-6654	Maintenance-Hydrants	BLASTING GRIT			\$191.76	
Invoice	290027	7/20/2016					
Cash Payment	E 610-6454-6654	Maintenance-Hydrants	SUPPLIES			\$29.99	
Invoice	262173	7/21/2016					
Transaction Date	7/27/2016		Citizens	111000	<b>Total</b>	\$721.54	
Refer	76280	USA BLUEBOOK	-				
Cash Payment	E 620-8010-8260	Other Chemicals	CHEMICALS/FILTERS/BOTTLES			\$613.14	
Invoice	967581	6/1/2016					
Cash Payment	E 620-8010-8260	Other Chemicals	CHEMICALS			\$655.48	
Invoice	14458	7/22/2016					
Cash Payment	E 620-8010-8260	Other Chemicals	CHEMICALS			\$839.40	
Invoice	13930	7/22/2016					
Transaction Date	7/27/2016		Citizens	111000	<b>Total</b>	\$2,108.02	
Refer	76281	VERIZON WIRELESS	-				
Cash Payment	E 100-5323-5225	Telephone	CELLS/TABLETS			\$129.43	
Invoice	9768720043	7/13/2016					
Cash Payment	E 100-5141-5225	Telephone	CELLS/TABLETS			\$119.85	
Invoice	9768674647	7/13/2016					
Cash Payment	E 100-5241-5225	Telephone	CELLS/TABLETS			\$63.14	
Invoice	9768674647	7/13/2016					
Cash Payment	E 610-6920-6921	Office Supplies & Expen	CELLS/TABLETS			\$62.81	
Invoice	9768674647	7/13/2016					
Cash Payment	E 620-8010-8270	Operation Supply/Expen	CELLS/TABLETS			\$62.80	
Invoice	9768674647	7/13/2016					

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Cash Payment	E 620-8300-8400 Operation Supply/Expen	CELLS/TABLETS			\$79.42
	Invoice 9768720040	7/13/2016			
Cash Payment	E 610-6920-6921 Office Supplies & Expen	CELLS/TABLETS			\$79.43
	Invoice 9768720040	7/13/2016			
Cash Payment	E 610-6920-6921 Office Supplies & Expen	CELLS/TABLETS			\$102.73
	Invoice 9768720039	7/13/2016			
Cash Payment	E 620-8300-8400 Operation Supply/Expen	CELLS/TABLETS			\$102.74
	Invoice 9768720039	7/13/2016			
Cash Payment	E 150-5221-5225 Telephone	CELLS/TABLETS			\$464.55
	Invoice 9768649429	7/12/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$1,266.90
Refer	76282 VILLAGE OF MUKWONAGO		-		
Cash Payment	E 610-6920-6408 Taxes - Village	MNTHLY UTILITY TAX			\$30,000.00
	Invoice 8/16	8/4/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$30,000.00
Refer	76283 WALWORTH CTY SECURITY ALAR		-		
Cash Payment	E 150-5221-5311 Supplies	ACCESS FOBS			\$162.50
	Invoice 10350	7/15/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$162.50
Refer	76284 WAUKESHA COUNTY		-		
Cash Payment	E 100-5212-5219 Professional Services	INMATE BILLING			\$49.86
	Invoice 2016-00000128	7/11/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$49.86
Refer	76285 WAUKESHA MEMORIAL HOSPITAL		-		
Cash Payment	E 150-5231-5311 Supplies	MAY 2016 SUPPLIES			\$418.75
	Invoice 118373	6/30/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$418.75
Refer	76286 WE ENERGIES MLWAUKEE		-		
Cash Payment	E 100-5160-5222 Electric	951 MAIN ST			\$16.25
	Invoice 377-7/21	7/21/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$16.25
Refer	76287 WI DEPT OF JUSTICE-TIME		-		
Cash Payment	E 100-5211-5219 Professional Services	QTRY CHARGES			\$2,209.50
	Invoice T21478	7/12/2016			
Transaction Date	7/27/2016	Citizens	111000	<b>Total</b>	\$2,209.50
Refer	76288 BITTNER RONALD		-		
Cash Payment	E 100-5323-5348 Safety Supplies	REIMBURSE SHOES			\$100.00
	Invoice 4173	7/23/2016			
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b>	\$100.00
Refer	76289 C & MAUTO PARTS INC		-		
Cash Payment	E 100-5213-5395 Repairs & Maintenance	BRAKE PARTS			\$132.97
	Invoice JULY 2016	7/21/2016			
Cash Payment	E 100-5324-5395 Repairs & Maintenance	DoOR HANDLE/AIR FILTERS/FUEL FILTERS			\$59.44
	Invoice JULY 2016	7/21/2016			
Cash Payment	E 100-5323-5395 Repairs & Maintenance	MAP SENSOR/AIR FILTER/TUNEUP GREASE			\$88.55
	Invoice JULY 2016	7/21/2016			

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<b>Cash Payment</b>	E 100-5323-5311 Supplies	AIR HOSE COUPLER/FUEL FILTER/GASKET MATERIAL		<b>\$19.36</b>
Invoice	JULY 2016	7/21/2016		
<b>Cash Payment</b>	E 150-5222-5395 Repairs & Maintenance	FUEL PUMPS/COIL/MANIFOLD GASKETS/HEATER HOSE/COOLING SYSTEM GASKETS/OIL		<b>\$236.24</b>
Invoice	JULY 2016	7/21/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$536.56</b>
Refer	76290	<u>CREATIVE PRODUCT SOURCE</u>	-	
<b>Cash Payment</b>	E 100-5213-5311 Supplies	OFFICE SUPPLIES		<b>\$324.96</b>
Invoice	CPI059174	7/22/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$324.96</b>
Refer	76291	<u>DYNAMIC AWARDS</u>	-	
<b>Cash Payment</b>	E 100-5141-5398 Employee Recognition	HANKOVICH PLATE		<b>\$60.00</b>
Invoice	11676	7/26/2016		
<b>Cash Payment</b>	E 100-5211-5399 Other	REIMESCH PLATE		<b>\$60.00</b>
Invoice	11676	7/26/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$120.00</b>
Refer	76292	<u>ENTERPRISE SYSTEMS GROUP</u>	-	
<b>Cash Payment</b>	E 100-5141-5219 Professional Services	SYSTEM CHANGES		<b>\$66.00</b>
Invoice	72934	7/25/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$66.00</b>
Refer	76293	<u>LOOMIS PHOTOGRAPHERS</u>	-	
<b>Cash Payment</b>	E 150-5221-5311 Supplies	JULY/AUG ISSUES		<b>\$30.00</b>
Invoice	112207	7/26/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$30.00</b>
Refer	76294	<u>MAILFINANCE</u>	-	
<b>Cash Payment</b>	E 100-5142-5315 Postage	AUG/NOV 16 LEASE		<b>\$106.39</b>
Invoice	N6034425	7/13/2016		
<b>Cash Payment</b>	E 150-5221-5311 Supplies	AUG/NOV 16 LEASE		<b>\$12.28</b>
Invoice	N6034425	7/13/2016		
<b>Cash Payment</b>	E 220-5140-5315 Postage	AUG/NOV 16 LEASE		<b>\$4.10</b>
Invoice	N6034425	7/13/2016		
<b>Cash Payment</b>	E 410-5140-5315 Postage	AUG/NOV 16 LEASE		<b>\$4.10</b>
Invoice	N6034425	7/13/2016		
<b>Cash Payment</b>	E 440-5511-5315 Postage	AUG/NOV 16 LEASE		<b>\$8.20</b>
Invoice	N6034425	7/13/2016		
<b>Cash Payment</b>	E 500-5140-5315 Postage	AUG/NOV 16 LEASE		<b>\$4.10</b>
Invoice	N6034425	7/13/2016		
<b>Cash Payment</b>	E 610-6920-6930 Misc General Expenses	AUG/NOV 16 LEASE		<b>\$135.09</b>
Invoice	N6034425	7/13/2016		
<b>Cash Payment</b>	E 620-8400-8560 Misc General Expense	AUG/NOV 16 LEASE		<b>\$135.09</b>
Invoice	N6034425	7/13/2016		
Transaction Date	7/28/2016	Citizens	111000	<b>Total \$409.35</b>
Refer	76295	<u>ORGANIZATION DEVELOPMENT</u>	-	
<b>Cash Payment</b>	E 100-5211-5219 Professional Services	BEHLING/SHAW TESTING		<b>\$1,350.00</b>
Invoice	11731	7/15/2016		

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Payments

Current Period: August 2016

Transaction Date	7/28/2016	Citizens	111000	<b>Total</b>	<b>\$1,350.00</b>
Refer	76296 <i>PETTY CASH</i>	-			
Cash Payment	E 100-5211-5311 Supplies	COMPUTER PARTS			\$7.97
Invoice	JULY 16 7/25/2016				
Cash Payment	E 100-5211-5315 Postage	USPS			\$21.17
Invoice	JULY 16 7/25/2016				
Cash Payment	E 100-5212-5395 Repairs & Maintenance	BATTERIES			\$31.79
Invoice	JULY 16 7/25/2016				
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b>	<b>\$60.93</b>
Refer	76297 <i>RED THE UNIFORM TAILOR</i>	-			
Cash Payment	E 100-5213-5346 Clothing Allowance	STEINBRENNER CLOTHING			\$209.88
Invoice	W63978 7/21/2016				
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b>	<b>\$209.88</b>
Refer	76298 <i>WE ENERGIES MLWAUKEE</i>	-			
Cash Payment	E 480-5700-5863 NN Trail & Crosswalk	NON-STANDARD LIGHTING AT CTH NN			\$163,845.20
Invoice	3901090 7/15/2016				
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b>	<b>\$163,845.20</b>
Refer	76299 <i>WISCONSIN IMAGING</i>	-			
Cash Payment	E 100-5211-5394 Bldg Repairs & Maintena	COPY USAGE			\$72.92
Invoice	35348 7/25/2016				
Transaction Date	7/28/2016	Citizens	111000	<b>Total</b>	<b>\$72.92</b>

Fund Summary

	111000 Citizens
100 GENERAL FUND	\$27,726.21
150 FIRE/AMBULANCE FUND	\$8,892.67
220 TID#3 - GENERAL	\$12.24
410 RECYCLING FUND	\$33,387.74
430 CAPITAL EQUIPMENT FUND	\$91,925.50
440 LIBRARY FUND	\$48.91
480 CAPITAL IMPROVEMENT FUND	\$204,455.64
500 STORM WATER UTILITY	\$12.24
610 WATER UTILITY FUND	\$275,844.04
620 SEWER UTILITY FUND	\$10,529.29
720 TAX ESCROW AGENCY FUND	\$17,500.00
	<u>\$670,334.48</u>

Pre-Written Checks	\$0.00
Checks to be Generated by the Computer	\$670,334.48
<b>Total</b>	<u>\$670,334.48</u>

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Payments

Current Period: July 2016

Batch Name	LIBAP72016	User Dollar Amt	\$20,383.49		
Payments		Computer Dollar Amt	\$20,383.49		
				\$0.00	In Balance
Refer	76212 ASSOCIATED BANK	-			
AP Payment	E 440-5511-5329 AV Material	AV MATERIALS			\$2,100.48
Invoice	JULY 16 7/8/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$2,100.48</b>
Refer	76213 BAKER & TAYLOR INC.	-			
Cash Payment	E 440-5511-5328 Books	BOOKS			\$5,452.64
Invoice	6/16-7/19 7/19/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$5,452.64</b>
Refer	76214 BAYSCAN TECHNOLOGIES	-			
Cash Payment	E 440-5511-5311 Supplies	SUPPLIES			\$58.00
Invoice	48618 6/21/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$58.00</b>
Refer	76215 BRIDGES LIBRARY SYSTEM	-			
Cash Payment	E 440-5511-5344 Shared County Database	SHARED COUNTY DATABASE			\$417.00
Invoice	201600000160 6/17/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$417.00</b>
Refer	76216 BRODART	-			
Cash Payment	E 440-5511-5328 Books	BOOKS			\$914.21
Invoice	B4581590 6/27/2016				
Cash Payment	E 440-5511-5328 Books	BOOKS			\$16.20
Invoice	B4582697 6/28/2016				
Cash Payment	E 440-5511-5328 Books	BOOKS			\$639.91
Invoice	B4591548 7/11/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$1,570.32</b>
Refer	76217 CENTER POINT LARGE PRINT	-			
Cash Payment	E 440-5511-5328 Books	BOOKS			\$337.58
Invoice	1381495 6/3/2016				
Cash Payment	E 440-5511-5328 Books	BOOKS			\$24.02
Invoice	1385952 6/16/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$361.60</b>
Refer	76218 CLEAN MATS	-			
Cash Payment	E 440-5511-5311 Supplies	JUNE MATS/TOWELS/DUSTERS			\$31.40
Invoice	39373 7/5/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$31.40</b>
Refer	76219 DEMCO	-			
Cash Payment	E 440-5511-5329 AV Material	AV MATERIALS			\$731.16
Invoice	5904479 6/29/2016				
Cash Payment	E 440-5511-5329 AV Material	AV MATERIALS			\$126.08
Invoice	5909636 7/8/2016				
Cash Payment	E 440-5511-5329 AV Material	AV MATERIALS			\$312.91
Invoice	5914396 7/14/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$1,170.15</b>

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## Payments

Current Period: July 2016

Refer	76220	UNEMPLOYMENT INSURANCE	-				
Cash Payment	E 440-5511-5110	Salaries & Wages	LININGER JUNE 2016			\$1,480.00	
Invoice	7778448	6/30/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$1,480.00	
Refer	76221	EMCOR SERVICES	-				
Cash Payment	E 440-5511-5399	Other	REPAIRS AND MAINTENANCE			\$2,997.00	
Invoice	13188	6/15/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$2,997.00	
Refer	76222	ENVISIONVARE, INC	-				
Cash Payment	E 440-5511-5342	Wireless Access	WIRELESS ACCESS			\$751.76	
Invoice	INV-US-26595	6/22/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$751.76	
Refer	76223	FISK TERRY	-				
Cash Payment	E 440-5511-5331	Programing	PROGRAM			\$350.00	
Invoice	66052	7/10/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$350.00	
Refer	76224	FREEMAN NEWSPAPER	-				
Cash Payment	E 440-5511-5327	Newspapers	1 YR SUBSCRIPTION 2016/2017			\$132.00	
Invoice	JULY 16	7/12/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$132.00	
Refer	76225	FRISCH LAURA	-				
Cash Payment	E 440-5511-5332	Mileage	REIMBURSE MILEAGE			\$34.83	
Invoice	JUNE 2016	7/7/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$34.83	
Refer	76226	GALE	-				
Cash Payment	E 440-5511-5328	Books	BOOKS			\$21.60	
Invoice	58228955	6/17/2016					
Cash Payment	E 440-5511-5328	Books	BOOKS			\$23.99	
Invoice	58263098	6/23/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$45.59	
Refer	76227	JOSEPHSON MICHAEL	-				
Cash Payment	E 440-5890-5806	Donated Fund Expenditu	GARDEN WORKER			\$175.00	
Invoice	1001	7/18/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$175.00	
Refer	76228	MARIS ASSOCIATES	-				
Cash Payment	E 440-5511-5328	Books	BOOKS			\$175.99	
Invoice	1067	7/12/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$175.99	
Refer	76229	MATERIALS DISTRIBUTION SERVI	-				
Cash Payment	E 440-5511-5311	Supplies	OFFICE SUPPLIES			\$196.56	
Invoice	06/16MD24119	7/5/2016					
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>		\$196.56	
Refer	76230	MIDWEST TAPE	-				
Cash Payment	E 440-5511-5329	AV Material	AV MATERIALS			\$209.93	
Invoice	94109206	6/30/2016					

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## Payments

Current Period: July 2016

<b>Cash Payment</b>	E 440-5511-5329 AV Material	AV MATERIALS			\$24.98
Invoice	94109837 6/30/2016				
<b>Cash Payment</b>	E 440-5511-5329 AV Material	AV MATERIALS			\$254.92
Invoice	94128898 7/8/2016				
<b>Cash Payment</b>	E 440-5511-5329 AV Material	AV MATERIALS			\$279.92
Invoice	94154448 7/18/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	\$769.75
Refer	76231 OFFICE COPYING EQUIPMENT	-			
<b>Cash Payment</b>	E 440-5511-5310 Outside Services	COPY USAGE			\$347.19
Invoice	C331645 6/21/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	\$347.19
Refer	76232 QUILL CORPORATION	-			
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$100.53
Invoice	6992995 6/28/2016				
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$50.99
Invoice	6993021 6/28/2016				
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$62.16
Invoice	6993034 6/28/2016				
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$65.80
Invoice	6993829 6/28/2016				
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$31.49
Invoice	7047205 6/30/2016				
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$25.49
Invoice	7047215 6/30/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	\$336.46
Refer	76233 RICOH AMERICAS CORPORATION	-			
<b>Cash Payment</b>	E 440-5511-5310 Outside Services	COPY USAGE			\$475.14
Invoice	5042886373 6/20/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	\$475.14
Refer	76234 SKYBOUND CANINE ENTERTAINM	-			
<b>Cash Payment</b>	E 440-5511-5331 Programming	PROGRAMMING			\$300.00
Invoice	66050 7/8/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	\$300.00
Refer	76235 USA TODAY	-			
<b>Cash Payment</b>	E 440-5511-5327 Newspapers	1YR SUBSCRIPTION 2016/2017			\$294.24
Invoice	JULY 16 7/12/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	\$294.24
Refer	76236 UNIQUE MANAGEMENT	-			
<b>Cash Payment</b>	E 440-5511-5310 Outside Services	PLACEMENTS			\$8.95
Invoice	430644 7/1/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	\$8.95
Refer	76237 VERNON LIBRARY SUPPLIES	-			
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$91.30
Invoice	83536 7/5/2016				
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$70.39
Invoice	83610 7/5/2016				

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## Payments

Current Period: July 2016

<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			<b>\$39.75</b>
Invoice 83658	7/14/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$201.44</b>

Refer 76238 AMY MUELLER -

<b>Cash Payment</b>	E 440-5890-5806 Donated Fund Expenditu	PROGRAMMING			<b>\$150.00</b>
Invoice JULY 16	7/29/2016				
Transaction Date	7/25/2016	Citizens	111000	<b>Total</b>	<b>\$150.00</b>

### Fund Summary

	111000 Citizens	
440 LIBRARY FUND	\$20,383.49	
	<u>\$20,383.49</u>	

Pre-Written Checks	\$0.00
Checks to be Generated by the Computer	\$20,383.49
Total	<u>\$20,383.49</u>

## Vouchers Payable Cover Sheet

Tax Settlements TAXSET8-2016	\$960,252.92
Payments batch AP-8-2016-2	\$995,755.08
Total for board approval:	\$1,956,008.00

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Payments

Current Period: August 2016

Batch Name	TAXSET8-2016	User Dollar Amt	\$960,252.92		
	Payments	Computer Dollar Amt	\$960,252.92		
				\$0.00	In Balance
Refer	76362 EAST TROY SCHOOL DISTRICT	-			
Cash Payment	G 720-246200 East Troy School Tax	AUGUST SETTLEMENT			\$12,560.20
Invoice	TAX8/2016 8/12/2016				
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	<b>\$12,560.20</b>
Refer	76363 GATEWAY TECHNICAL COLLEGE	-			
Cash Payment	G 720-246300 Gateway College Tax	AUGUST SETTLEMENT			\$1,040.12
Invoice	TAX8/2016 8/12/2016				
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	<b>\$1,040.12</b>
Refer	76364 MUKWONAGO AREA SCHOOLS	-			
Cash Payment	G 720-246000 Mukwonago School Tax	WAUK CTY AUGUST SETTLEMENT			\$897,194.91
Invoice	TAX8/2016 8/12/2016				
Cash Payment	G 720-246000 Mukwonago School Tax	WAL CTY AUGUST SETTLEMENT			\$424.91
Invoice	TAX8/2016 8/12/2016				
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	<b>\$897,619.82</b>
Refer	76365 PHANTOM LAKES MGMT DISTRIC	-			
Cash Payment	G 720-245000 Phantom Lakes Mgt District	AUGUST SETTLEMENT			\$3,975.22
Invoice	TAX8/2016 8/12/2016				
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	<b>\$3,975.22</b>
Refer	76366 W C T C	-			
Cash Payment	G 720-246100 Waukesha Tech College Ta	AUGUST SETTLEMENT			\$38,858.13
Invoice	TAX8/2016 8/12/2016				
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	<b>\$38,858.13</b>
Refer	76367 WALWORTH CTY TREASURER	-			
Cash Payment	G 720-243110 Walworth County Tax	CTY AUGUST SETTLEMENT			\$5,254.46
Invoice	TAX8/2016 8/12/2016				
Cash Payment	G 720-243110 Walworth County Tax	CDEB AUGUST SETTLEMENT			\$722.76
Invoice	TAX8/2016 8/12/2016				
Cash Payment	G 720-242200 State Taxes	STATE AUGUST SETTLEMENT			\$222.21
Invoice	TAX8/2016 8/12/2016				
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	<b>\$6,199.43</b>

Fund Summary

	111000 Citizens
720 TAX ESCROW AGENCY FUND	\$960,252.92
	<u>\$960,252.92</u>

Pre-Written Checks	\$0.00
Checks to be Generated by the Computer	\$960,252.92
<b>Total</b>	<b>\$960,252.92</b>

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## Payments

Current Period: August 2016

Batch Name	AP-8-2016-2	User Dollar Amt	\$995,755.08		
Payments		Computer Dollar Amt	\$995,755.08		
				\$0.00	<b>In Balance</b>
Refer	76317	<u>AERO COMPRESSED GASES</u>	-		
Cash Payment	E 340-5890-5806	Donated Fund Expenditu	NATIONAL NITE OUT BALLOON GAS		\$134.00
Invoice	367161	8/1/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$134.00
Refer	76318	<u>AIRGAS NORTH CENTRAL</u>	-		
Cash Payment	E 150-5231-5311	Supplies	TANK RENTAL		\$39.62
Invoice	9937873307	7/31/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$39.62
Refer	76319	<u>ALSCO</u>	-		
Cash Payment	E 100-5323-5311	Supplies	UNIFORMS/TOWELS		\$320.44
Invoice	JULY 16	7/31/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$320.44
Refer	76320	<u>BANDT COMMUNICATIONS</u>	-		
Cash Payment	E 150-5222-5395	Repairs & Maintenance	BATTERIES/SPEAKER		\$690.50
Invoice	2016800340	8/4/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$690.50
Refer	76321	<u>BARSKE, AMANDA</u>	-		
Cash Payment	E 150-5222-5346	Clothing Allowance	REIMBURSE CLOTHING		\$50.00
Invoice	64386	6/17/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$50.00
Refer	76322	<u>BOUND TREE MEDICAL</u>	-		
Cash Payment	E 150-5231-5311	Supplies	ADENOSINE		\$31.02
Invoice	82218305	7/25/2016			
Cash Payment	E 150-5231-5311	Supplies	ENDO TUBE/ONDANSETRON/VENTILATOR/NOSE CLIPS		\$650.55
Invoice	82229112	8/4/2016			
Cash Payment	E 150-5231-5311	Supplies	TRAUMA SHEAR/TETRACAINE		\$64.77
Invoice	82229113	8/4/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$746.34
Refer	76323	<u>CENTURYLINK</u>	-		
Cash Payment	E 100-5120-5225	Telephone	PHONES		\$65.79
Invoice	AUG 16	8/2/2016			
Cash Payment	E 100-5142-5225	Telephone	PHONES		\$168.55
Invoice	AUG 16	8/2/2016			
Cash Payment	E 100-5211-5225	Telephone	PHONES		\$108.78
Invoice	AUG 16	8/2/2016			
Cash Payment	E 100-5241-5225	Telephone	PHONES		\$12.97
Invoice	AUG 16	8/2/2016			
Cash Payment	E 100-5323-5225	Telephone	PHONES		\$86.71
Invoice	AUG 16	8/2/2016			
Cash Payment	E 100-5512-5225	Telephone	PHONES		\$221.62
Invoice	AUG 16	8/2/2016			

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Payments

Current Period: August 2016

Cash Payment	E 440-5511-5225 Telephone	PHONES			\$229.49
Invoice	AUG 16	8/2/2016			
Cash Payment	E 610-6920-6921 Office Supplies & Expen	PHONES			\$163.11
Invoice	AUG 16	8/2/2016			
Cash Payment	E 620-8400-8510 Office Supplies & Expen	PHONES			\$163.10
Invoice	AUG 16	8/2/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$1,220.12
Refer	76324	DAVID FORJAN OVERHEAD DOOR	-		
Cash Payment	E 610-6310-6635 Maintenance-Water Trea	RECEIVERS - PURCHASE & INSTALL			\$322.50
Invoice	S/W 7/28	7/28/2016			
Cash Payment	E 620-8010-8340 Maint-General Plant/Stru	RECEIVERS - PURCHASE & INSTALL			\$322.50
Invoice	S/W 7/28	7/28/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$645.00
Refer	76325	DYNAMIC AWARDS	-		
Cash Payment	E 100-5521-5311 Supplies	FICKAU PLAQUE			\$80.00
Invoice	11706	8/8/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$80.00
Refer	76326	EBIX	-		
Cash Payment	E 150-5231-5219 Professional Services	DEPOSITS			\$5,172.71
Invoice	7367	8/5/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$5,172.71
Refer	76327	EMERGENCY MEDICAL PRODUCT	-		
Cash Payment	E 150-5231-5311 Supplies	TRAUMA DRESSING/GLOVES/IV CATHETER/CALCIUM CHLORIDE/BAXTER 0%			\$390.66
Invoice	1840495	7/25/2016			
Cash Payment	E 150-5231-5311 Supplies	DoPAMINE/SOLU-MEDROL/LIFEPAK PAPER/ELECTRODES/ADHERENT WRAP/PADS/GAUZE			\$385.50
Invoice	1842843	8/3/2016			
Cash Payment	E 150-5231-5311 Supplies	FACE SHIELD/PRACTI-VALVE			\$183.30
Invoice	1841682	7/29/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$959.46
Refer	76328	ENERGENECS, INC.	-		
Cash Payment	E 620-8010-8270 Operation Supply/Expen	SCREEN BAGS			\$876.02
Invoice	32404-IN	7/26/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$876.02
Refer	76329	ENTERPRISE SYSTEMS GROUP	-		
Cash Payment	E 100-5241-5225 Telephone	BI PHONE CHANGES			\$66.00
Invoice	72982	7/29/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$66.00
Refer	76330	ENVIRONMENT CONTROL	-		
Cash Payment	E 100-5160-5219 Professional Services	CLEANING AUGUST 16			\$475.00
Invoice	1261-613	8/1/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$475.00
Refer	76331	FASTENAL COMPANY	-		
Cash Payment	E 620-8020-8320 Maintenance-Lift Station	SUPPLIES			\$1.41
Invoice	WIMUK61708	7/21/2016			

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## Payments

Current Period: August 2016

<b>Cash Payment</b>	E 620-8020-8320 Maintenance-Lift Station	ROD			\$13.66
Invoice	WIMUK61676	7/19/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$15.07
Refer	76332	G & K SERVICES	-		
<b>Cash Payment</b>	E 610-6920-6923 Outside Services Employ	UNIFORMS/TOWELS			\$127.88
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 620-8010-8270 Operation Supply/Expen	UNIFORMS/TOWELS			\$127.87
Invoice	JULY 16	7/31/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$255.75
Refer	76333	GENERAL FIRE EQUIPMENT CO	-		
<b>Cash Payment</b>	E 150-5222-5395 Repairs & Maintenance	SUPPLIES			\$693.79
Invoice	134288	7/12/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$693.79
Refer	76334	GREEN LAKE COUNTY	-		
<b>Cash Payment</b>	E 100-5215-5335 Training & Travel	SCHMIDT REGISTRATION			\$150.00
Invoice	9/6-9	7/31/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$150.00
Refer	76335	HAHN ACE HARDEWARE	-		
<b>Cash Payment</b>	E 440-5511-5311 Supplies	SUPPLIES			\$4.04
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5212-5395 Repairs & Maintenance	SUPPLIES			\$44.90
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5324-5395 Repairs & Maintenance	PRIMER KIT			\$4.49
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5323-5311 Supplies	PAINT/LOCK WASHERS/SHOP TOOLS/CORNER BRACE/COUPLER			\$46.83
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5611-5311 Supplies	CHAINSAW PARTS/SUPPLIES			\$73.72
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5521-5311 Supplies	TABLE STAIN/SUPPLIES/GRASS SEED/WEED EATER STRING/ELECT PARTS/DECK SCREWS			\$145.57
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 150-5222-5311 Supplies	FASTENERS/WATER			\$5.75
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 610-6210-6623 Operation Supply/Exp-P	FILTERS			\$31.42
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 610-6310-6635 Maintenance-Water Trea	PAINT SUPPLIES/TAPE/DRAIN COVER			\$98.04
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 620-8010-8270 Operation Supply/Expen	PAINT SUPPLIES			\$10.34
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 610-6453-6653 Maintenance-Meters	TARP/PIPING			\$9.87
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 610-6210-6625 Maintenance-Pumping	PAINT SUPPLIES			\$39.41
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 610-6454-6654 Maintenance-Hydrants	SUPPLIES			\$24.73
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 610-6451-6651 Maintenance-Mains	SUPPLIES			\$71.98
Invoice	JULY 16	7/31/2016			

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## Payments

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<b>Cash Payment</b>	E 150-5222-5395	Repairs & Maintenance	SUPPLIES						\$39.17
Invoice	JULY 16	7/31/2016							
Transaction Date	8/10/2016		Citizens	111000		<b>Total</b>			\$650.26
Refer	76336	HAWKINS WATER TREATMENT	-						
<b>Cash Payment</b>	E 620-8010-8240	Phosphorous Removal C	FERRIC CHLORIDE						\$865.22
Invoice	3921561	7/21/2016							
Transaction Date	8/10/2016		Citizens	111000		<b>Total</b>			\$865.22
Refer	76337	HOME DEPOT	-						
<b>Cash Payment</b>	E 610-6310-6635	Maintenance-Water Trea	ROUNDUP						\$129.85
Invoice	64961	8/2/2016							
<b>Cash Payment</b>	E 100-5160-5821	Improvements	RETURNS						-\$280.68
Invoice	21371	7/26/2016							
<b>Cash Payment</b>	E 100-5160-5311	Supplies	JOINT TAPE						\$1.25
Invoice	53153	7/26/2016							
<b>Cash Payment</b>	E 100-5160-5821	Improvements	REMODEL SUPPLIES						\$90.82
Invoice	53153	7/26/2016							
<b>Cash Payment</b>	E 100-5521-5311	Supplies	QUIKCRETE						\$174.60
Invoice	31043	7/29/2016							
Transaction Date	8/10/2016		Citizens	111000		<b>Total</b>			\$115.84
Refer	76338	HORN FEEDS	-						
<b>Cash Payment</b>	E 100-5521-5311	Supplies	BARN LIME						\$99.00
Invoice	26152	6/1/2016							
<b>Cash Payment</b>	E 100-5521-5311	Supplies	BARN LIME						\$11.00
Invoice	26227	6/28/2016							
<b>Cash Payment</b>	E 100-5521-5311	Supplies	BARN LIME						\$99.00
Invoice	26285	6/30/2016							
<b>Cash Payment</b>	E 150-5221-5395	Repairs & Maintenance	SOLAR SALT/BUGMAX						\$86.90
Invoice	26210	6/18/2016							
<b>Cash Payment</b>	E 100-5521-5311	Supplies	BARN LIME						\$27.50
Invoice	26217	6/20/2016							
Transaction Date	8/10/2016		Citizens	111000		<b>Total</b>			\$323.40
Refer	76339	IAFC MEMBERSHIP	-						
<b>Cash Payment</b>	E 150-5221-5324	Membership Dues	MEMBERSHIP DUE 10/31/16						\$234.00
Invoice	2016	8/2/2016							
Transaction Date	8/10/2016		Citizens	111000		<b>Total</b>			\$234.00
Refer	76340	JEFFERSON FIRE & SAFETY	-						
<b>Cash Payment</b>	E 150-5222-5811	Equipment (non-Capitaliz	SaW CARBIDE TIP BLADES						\$1,682.87
Invoice	228789	7/28/2016							
<b>Cash Payment</b>	E 150-5222-5395	Repairs & Maintenance	HoSE						\$1,101.40
Invoice	228741	7/27/2016							
Transaction Date	8/10/2016		Citizens	111000		<b>Total</b>			\$2,784.27
Refer	76341	LARK UNIFORM, INC	-						
<b>Cash Payment</b>	E 150-5880-5806	Donated Fund Expenditu	STIEN CLOTHING						\$135.70
Invoice	225522	7/21/2016							
Transaction Date	8/10/2016		Citizens	111000		<b>Total</b>			\$135.70
Refer	76342	MUKWONAGO AUTO PARTS	-						

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<b>Cash Payment</b>	E 620-8010-8270 Operation Supply/Expen	FUNNEL			\$12.71
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 150-5222-5311 Supplies	FUEL OIL MIX/DIESEL EXST FLD			\$56.92
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 150-5222-5395 Repairs & Maintenance	MiR ADH/MIRROR/BATTERY			\$393.31
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5324-5395 Repairs & Maintenance	BLADERUNNER BELT			\$64.36
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5521-5311 Supplies	OIL DRY			\$76.00
Invoice	JULY 16	7/31/2016			
<b>Cash Payment</b>	E 100-5323-5311 Supplies	CABLE TIES/TUBING/SHOP TOOLS			\$107.61
Invoice	JULY 16	7/31/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$710.91
Refer	76343	<i>MINORS HOMESTEAD 4 LLC</i>	-		
<b>Cash Payment</b>	G 100-211425 Developer Escrow	RELEASE OF ESCROW BALANCE			\$3,609.18
Invoice	JULY 16	7/31/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$3,609.18
Refer	76344	<i>NEXTEL WIRELESS SOLUTIONS</i>	-		
<b>Cash Payment</b>	E 100-5323-5225 Telephone	LINK FOR VILLAGE NETWORK			\$499.00
Invoice	8	7/11/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$499.00
Refer	76345	<i>PARNAU JESSIE</i>	-		
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax	OVERPAYMENT MUKV 1971068			\$94.00
Invoice	2015/1971068	8/3/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$94.00
Refer	76346	<i>PETERSON JAY</i>	-		
<b>Cash Payment</b>	G 720-121100 Overpayment/Refund of Tax	OVERPAYMENT MUKV 1976963004			\$50.00
Invoice	2015/197696300	8/3/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$50.00
Refer	76347	<i>POMPS TIRE SERVICE, INC</i>	-		
<b>Cash Payment</b>	E 100-5212-5395 Repairs & Maintenance	PD TIRES			\$488.02
Invoice	60098304	7/27/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$488.02
Refer	76348	<i>PROHEALTH CARE LAB BILLING</i>	-		
<b>Cash Payment</b>	E 100-5212-5219 Professional Services	BLOOD DRAW			\$70.00
Invoice	JULY 16	7/31/2016			
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	\$70.00
Refer	76349	<i>QUILL CORPORATION</i>	-		
<b>Cash Payment</b>	E 100-5521-5311 Supplies	BATH TISSUE/SOAP			\$96.95
Invoice	7623506	7/22/2016			
<b>Cash Payment</b>	E 100-5323-5311 Supplies	CLEAR REPORT COVERS			\$35.99
Invoice	7623506	7/22/2016			
<b>Cash Payment</b>	E 100-5160-5311 Supplies	BATH TISSUE			\$54.99
Invoice	7899419	8/2/2016			
<b>Cash Payment</b>	E 100-5521-5311 Supplies	HAND TOWELS			\$80.97
Invoice	7899419	8/2/2016			

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Cash Payment	E 100-5521-5311 Supplies	URINAL CAKES		\$46.48
Invoice	7958690	8/4/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$315.38
Refer	76350	SAFE STEP LLC	-	
Cash Payment	E 100-5341-5395 Repairs & Maintenance	REPAIR SIDEWALK TRIP HAZARDS		\$2,407.68
Invoice	2538	8/3/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$2,407.68
Refer	76351	SCAN GROUP	-	
Cash Payment	E 100-5241-5312 Printing	RUTENBECK BUSINESS CARDS		\$75.00
Invoice	162988	8/8/2016		
Cash Payment	E 100-5241-5312 Printing	HARLEY BUSINESS CARDS		\$75.00
Invoice	163792	8/8/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$150.00
Refer	76352	SCOTT A DAVIS ENTERPRISE	-	
Cash Payment	E 100-5347-5311 Supplies	REROOF OLD SALT SHED		\$1,660.00
Invoice	7/30	7/30/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$1,660.00
Refer	76353	SIGNS & LINES	-	
Cash Payment	E 100-5212-5219 Professional Services	ROAD SIGNS		\$600.00
Invoice	35510	8/2/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$600.00
Refer	76354	SOMAR ENTERPRISES	-	
Cash Payment	E 100-5211-5219 Professional Services	CLERK BADGE		\$107.25
Invoice	99854	7/28/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$107.25
Refer	76355	STIEN JEFF	-	
Cash Payment	E 150-5221-5335 Training & Travel	REIMBURSE MILEAGE		\$52.81
Invoice	8/6	8/6/2016		
Cash Payment	E 150-5223-5335 Training & Travel	REIMBURSE MILEAGE		\$128.63
Invoice	8/6	8/6/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$181.44
Refer	76356	SWITS, LTD	-	
Cash Payment	E 100-5120-5399 Other	ASL RATE/TRAVEL		\$380.00
Invoice	36339	7/28/2016		
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b> \$380.00
Refer	76357	TRACTOR SUPPLY CREDIT PLAN	-	
Cash Payment	E 610-6454-6654 Maintenance-Hydrants	BLASTING GRIT		\$255.68
Invoice	263452	8/1/2016		
Cash Payment	E 610-6454-6654 Maintenance-Hydrants	BLASTING GRIT		\$31.96
Invoice	263457	8/1/2016		
Cash Payment	E 610-6454-6654 Maintenance-Hydrants	BLASTING GRIT		\$399.50
Invoice	315656	7/26/2016		
Cash Payment	E 610-6454-6654 Maintenance-Hydrants	BLASTING GRIT		\$242.88
Invoice	291838	8/2/2016		
Cash Payment	E 100-5521-5311 Supplies	WeED KILLER		\$49.99
Invoice	262677	7/25/2016		

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## Payments

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<b>Cash Payment</b>	E 100-5521-5311 Supplies	PICNIC TABLE BOLTS			<b>\$24.97</b>
Invoice 262841	7/26/2016				
<b>Cash Payment</b>	E 100-5611-5311 Supplies	StUMP KILLER			<b>\$53.97</b>
Invoice 291105	7/28/2016				
<b>Cash Payment</b>	E 100-5521-5311 Supplies	WeED KILLER			<b>\$49.99</b>
Invoice 263459	8/1/2016				
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	<b>\$1,108.94</b>
Refer	76358	<i>UNEMPLOYMENT INSURANCE</i>		-	
<b>Cash Payment</b>	E 440-5511-5110 Salaries & Wages	LININGER JULY 2016			<b>\$1,850.00</b>
Invoice 7833084	8/9/2016				
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	<b>\$1,850.00</b>
Refer	76359	<i>W C T C</i>		-	
<b>Cash Payment</b>	E 100-5211-5335 Training & Travel	TIPTON TUITION			<b>\$53.32</b>
Invoice 175055-8/1	8/1/2016				
<b>Cash Payment</b>	E 100-5211-5335 Training & Travel	DiMAGGIO TUITION			<b>\$53.32</b>
Invoice 144769-8/1	8/1/2016				
<b>Cash Payment</b>	E 100-5211-5335 Training & Travel	ZAESKE TUITION			<b>\$53.32</b>
Invoice 23482-8/1	8/1/2016				
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	<b>\$159.96</b>
Refer	76360	<i>WI DNR ENVIRONMENTAL FEES</i>		-	
<b>Cash Payment</b>	E 620-8010-8551 State Fees	WWTP			<b>\$6,206.72</b>
Invoice 268003670-2016-	7/25/2016				
Transaction Date	8/10/2016	Citizens	111000	<b>Total</b>	<b>\$6,206.72</b>
Refer	76368	<i>BK PLANNING STRATEGIES</i>		-	
<b>Cash Payment</b>	E 100-5632-5219 Professional Services	GEN PLANNING SERVC			<b>\$3,106.65</b>
Invoice M0423-2016	8/10/2016				
<b>Cash Payment</b>	E 100-5632-5219 Professional Services	COMP PLAN UPDATE			<b>\$1,207.71</b>
Invoice M0424-2016	8/10/2016		Project PLN001		
<b>Cash Payment</b>	E 220-5632-5219 Professional Services	SOMP PLAN TID 3			<b>\$690.12</b>
Invoice M0424-2016	8/10/2016		Project PLN001		
<b>Cash Payment</b>	G 100-162010 Potential TID Accum. Costs	COMP PLAN TID 4			<b>\$690.12</b>
Invoice M0424-2016	8/10/2016		Project PLN001		
<b>Cash Payment</b>	G 100-162010 Potential TID Accum. Costs	COMP PLAN TID 5			<b>\$172.53</b>
Invoice M0424-2016	8/10/2016		Project PLN001		
<b>Cash Payment</b>	G 100-162010 Potential TID Accum. Costs	COMP PLAN TID 6			<b>\$517.59</b>
Invoice M0424-2016	8/10/2016		Project PLN001		
<b>Cash Payment</b>	E 200-5632-5219 Professional Services	COMP PLAN UPDATE			<b>\$172.53</b>
Invoice M0424-2016	8/10/2016		Project PLN001		
<b>Cash Payment</b>	G 100-162010 Potential TID Accum. Costs	TID 5 PLANNING			<b>\$466.50</b>
Invoice M0425-2016	8/10/2016		Project TID005		
<b>Cash Payment</b>	G 100-162010 Potential TID Accum. Costs	TID 6 PLANNING			<b>\$75.00</b>
Invoice M0426-2016	8/10/2016		Project TID006		
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	THEISEN			<b>\$150.25</b>
Invoice M0427-2016	8/10/2016		Project D00015		
<b>Cash Payment</b>	G 100-211425 Developer Escrow	214 S ROCHESTER			<b>\$12.75</b>
Invoice M0428-2016	8/10/2016		Project D00017		
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	505-507 S MAIN			<b>\$78.75</b>
Invoice M0429-2016	8/10/2016				

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<b>Cash Payment</b>	G 100-211425 Developer Escrow	PREMIER WOODS #2		\$307.75
Invoice	M0430-2016	8/10/2016	Project D00002	
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	PAMS WINES		\$141.25
Invoice	M0431-2016	8/10/2016		
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	GS GLOBAL PARKING LOT		\$162.75
Invoice	M0432-2016	8/10/2016		
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	EDGEWOOD APTS		\$242.50
Invoice	M0433-2016	8/10/2016		
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	HS ADDITION		\$25.50
Invoice	M0434-2016	8/10/2016		
<b>Cash Payment</b>	G 100-211400 Billable Disbursements	INSTRUMENT DEVELP		\$109.00
Invoice	M0435-2016	8/10/2016		
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b> \$8,329.25
Refer	76369 <u>BUELOW, VETTER, BUIKEMA, OLS</u>	-		
<b>Cash Payment</b>	E 100-5111-5219 Professional Services	GEN VILLAGE MATTERS		\$79.50
Invoice	2488.00099-8	8/10/2016		
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b> \$79.50
Refer	76370 <u>CTACCESS</u>	-		
<b>Cash Payment</b>	E 100-5142-5219 Professional Services	LSAP RENEWAL 2016		\$700.00
Invoice	81016	8/10/2016		
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b> \$700.00
Refer	76371 <u>FAHRNER ASPHALT SEALERS</u>	-		
<b>Cash Payment</b>	E 480-5700-5840 Street Pavement Mgmt	TRANSVERSE CRACK LEVELING		\$14,960.00
Invoice	35648	7/31/2016		
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b> \$14,960.00
Refer	76372 <u>HIPPENMEYER, REILLY</u>	-		
<b>Cash Payment</b>	E 100-5130-5219 Professional Services	MISC MATTERS		\$1,035.00
Invoice	43017	8/10/2016		
<b>Cash Payment</b>	E 610-6920-6923 Outside Services Employ	GENESIS ISSUE		\$288.75
Invoice	43017	8/10/2016		
<b>Cash Payment</b>	E 150-5221-5219 Professional Services	FIRE DEPT		\$33.00
Invoice	43018	8/10/2016		
<b>Cash Payment</b>	E 100-5211-5219 Professional Services	POLICE DEPT		\$132.00
Invoice	43019	8/10/2016		
<b>Cash Payment</b>	E 150-5221-5219 Professional Services	AMB CLAIMS FROM ACCIDENT		\$33.00
Invoice	43020	8/10/2016		
<b>Cash Payment</b>	E 100-5130-5219 Professional Services	PROSECUTION		\$1,253.00
Invoice	43021	8/10/2016		
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b> \$2,774.75
Refer	76373 <u>HORN OIL</u>	-		
<b>Cash Payment</b>	E 100-5212-5351 Motor Fuel & Oil	FUEL		\$1,837.22
Invoice	JULY 16	7/31/2016		
<b>Cash Payment</b>	E 100-5241-5351 Motor Fuel & Oil	FUEL		\$104.49
Invoice	JULY 16	7/31/2016		
<b>Cash Payment</b>	E 100-5324-5351 Motor Fuel & Oil	FUEL		\$3,405.70
Invoice	JULY 16	7/31/2016		
<b>Cash Payment</b>	E 150-5222-5351 Motor Fuel & Oil	FUEL		\$450.89
Invoice	JULY 16	7/31/2016		

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Payments

Current Period: August 2016

Cash Payment	E 150-5231-5351 Motor Fuel & Oil	FUEL			\$789.78
Invoice	JULY 16	7/31/2016			
Cash Payment	E 410-5140-5311 Supplies	FUEL			\$400.00
Invoice	JULY 16	7/31/2016			
Cash Payment	E 610-6920-6933 Transportation Expenses	FUEL			\$434.61
Invoice	JULY 16	7/31/2016			
Cash Payment	E 620-8010-8280 Transportation Expense	FUEL			\$155.77
Invoice	JULY 16	7/31/2016			
Cash Payment	E 100-5324-5351 Motor Fuel & Oil	NOZZLE			\$38.00
Invoice	JULY 16	7/31/2016			
Cash Payment	E 620-8010-8270 Operation Supply/Expen	LP GAS			\$23.65
Invoice	JULY 16	7/31/2016			
Cash Payment	E 620-8010-8330 Maint-Treatment/Dispos	OIL			\$79.95
Invoice	JULY 16	7/31/2016			
Cash Payment	E 100-5324-5351 Motor Fuel & Oil	OFF ROAD			\$462.68
Invoice	JULY 16	7/31/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	\$8,182.74
Refer	76374 LANGE ENTERPRISES	-			
Cash Payment	E 100-5348-5311 Supplies	WARNING LABEL			\$397.89
Invoice	58885	8/8/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	\$397.89
Refer	76375 MTAW	-			
Cash Payment	E 100-5142-5324 Membership Dues	TAUBERT MEMBERSHIP			\$55.00
Invoice	2016	8/10/2016			
Cash Payment	E 100-5142-5324 Membership Dues	BRAATZ MEMBERSHIP			\$55.00
Invoice	2016	8/10/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	\$110.00
Refer	76376 RICOH AMERICAS CORPORATION	-			
Cash Payment	E 100-5142-5312 Printing	LANIER COPIES			\$29.72
Invoice	5043673625	8/1/2016			
Cash Payment	E 150-5221-5311 Supplies	LANIER COPIES			\$27.59
Invoice	5043673625	8/1/2016			
Cash Payment	E 220-5140-5312 Printing	LANIER COPIES			\$2.12
Invoice	5043673625	8/1/2016			
Cash Payment	E 410-5140-5312 Printing	LANIER COPIES			\$4.25
Invoice	5043673625	8/1/2016			
Cash Payment	E 440-5511-5312 Printing	LANIER COPIES			\$10.61
Invoice	5043673625	8/1/2016			
Cash Payment	E 500-5140-5312 Printing	LANIER COPIES			\$2.12
Invoice	5043673625	8/1/2016			
Cash Payment	E 610-6920-6930 Misc General Expenses	LANIER COPIES			\$70.05
Invoice	5043673625	8/1/2016			
Cash Payment	E 620-8400-8560 Misc General Expense	LANIER COPIES			\$65.80
Invoice	5043673625	8/1/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	\$212.26
Refer	76377 RUEKERT & MIELKE, INC.	-			
Cash Payment	E 100-5335-5219 Professional Services	GEN ENGINEERING			\$3,543.44
Invoice	115944	8/10/2016			

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Payments

Current Period: August 2016

Cash Payment	E 100-5335-5219 Professional Services	COMP PLAN MAPPING		\$900.36
Invoice 115944	8/10/2016		Project PLN001	
Cash Payment	E 220-5335-5219 Professional Services	COMP PLAN MAP TID 3		\$514.50
Invoice 115944	8/10/2016		Project PLN001	
Cash Payment	G 100-162010 Potential TID Accum. Costs	COMP PLAN MAP TID 4		\$514.50
Invoice 115944	8/10/2016		Project PLN001	
Cash Payment	G 100-162010 Potential TID Accum. Costs	COMP PLAN MAP TID 5		\$128.63
Invoice 115944	8/10/2016		Project PLN001	
Cash Payment	G 100-162010 Potential TID Accum. Costs	COMP PLAN MAP TID 6		\$385.88
Invoice 115944	8/10/2016		Project PLN001	
Cash Payment	E 200-5335-5219 Professional Services	COMP PLAN MAP		\$128.63
Invoice 115944	8/10/2016		Project PLN001	
Cash Payment	G 100-211425 Developer Escrow	PREMIER WOODS		\$318.26
Invoice 115945	8/10/2016		Project D00002	
Cash Payment	G 100-211400 Billable Disbursements	LYNCH/HORTER STORMWATER		\$172.21
Invoice 115946	8/10/2016		Project D00009	
Cash Payment	G 100-211425 Developer Escrow	ALDI		\$311.28
Invoice 115947	8/10/2016		Project D00004	
Cash Payment	G 100-211400 Billable Disbursements	THEISEN		\$1,341.25
Invoice 115948	8/10/2016		Project D00015	
Cash Payment	G 100-211400 Billable Disbursements	EDGEWOOD APTS		\$1,892.50
Invoice 115949	8/10/2016			
Cash Payment	E 620-8400-8520 Outside Services Employ	ST JAMES DEVELOP		\$524.00
Invoice 115950	8/10/2016			
Cash Payment	E 480-5700-5850 Multi-Use Trail	HOLZ PRKWY TRAIL		\$4,076.71
Invoice 115951	8/10/2016			
Cash Payment	E 480-5700-5864 Boat Launch	BOAT LAUNCH		\$735.00
Invoice 115952	8/10/2016			
Cash Payment	G 100-211400 Billable Disbursements	MASK EXP		\$813.75
Invoice 115953	8/10/2016			
Cash Payment	E 610-6920-6923 Outside Services Employ	GIS		\$720.00
Invoice 115954	8/10/2016			
Cash Payment	E 620-8400-8520 Outside Services Employ	GOS		\$720.00
Invoice 115954	8/10/2016			
Cash Payment	G 100-211400 Billable Disbursements	INSTRUMENT DEVELP		\$687.00
Invoice 115955	8/10/2016			
Cash Payment	E 220-5335-5219 Professional Services	ARROWHEAD DR		\$620.00
Invoice 115956	8/10/2016		Project TID001	
Cash Payment	G 100-211425 Developer Escrow	ORCHARDS 2		\$8,893.79
Invoice 115957	8/10/2016		Project D00011	
Cash Payment	E 200-5632-5219 Professional Services	CHAPMAN		\$2,609.90
Invoice 115958	8/10/2016		Project EDC006	
Cash Payment	E 100-5660-5352 Stormwater Compliance	NR-216 STORM WATER		\$5,693.75
Invoice 115959	8/10/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b> \$36,245.34
Refer	76378 SHERWIN-WILLIAMS			
Cash Payment	E 100-5160-5821 Improvements	RETURNS		-\$3.91
Invoice 8464-1	8/8/2016			
Cash Payment	E 100-5521-5311 Supplies	PAINT BRUSH		\$14.23
Invoice 8282-7	8/4/2016			

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Payments

Current Period: August 2016

Cash Payment	E 100-5160-5821 Improvements	PAINT			\$24.04
Invoice	8480-7	8/9/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	\$34.36
Refer	76379 TOWN OF VERNON	-			
Cash Payment	E 100-5144-5312 Printing	LEGAL NOTICE			\$13.96
Invoice	2996	8/4/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	\$13.96
Refer	76380 VILLAGE OF MUKWONAGO	-			
Cash Payment	G 720-250022 Due to TID	WAUK CTY AUGUST SETTLEMENT			\$109,193.02
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250010 Due to General Fund	WAUK CTY AUGUST SETTLEMENT			\$339,849.56
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250030 Due to Debt Service	WAUK CTY AUGUST SETTLEMENT			\$304,750.53
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250041 Due to Recycling	WAUK CTY AUGUST SETTLEMENT			\$43,553.52
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250043 Due to Capital Equipment	WAUK CTY AUGUST SETTLEMENT			\$16,399.03
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250044 Due to Library	WAUK CTY AUGUST SETTLEMENT			\$62,337.96
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250010 Due to General Fund	WAL CTY AUGUST SETTLEMENT			\$4,114.41
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250030 Due to Debt Service	WAL CTY AUGUST SETTLEMENT			\$3,689.49
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250041 Due to Recycling	WAL CTY AUGUST SETTLEMENT			\$527.28
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250043 Due to Capital Equipment	WAL CTY AUGUST SETTLEMENT			\$198.54
Invoice	TAX8/2016	8/12/2016			
Cash Payment	G 720-250044 Due to Library	WAL CTY AUGUST SETTLEMENT			\$754.70
Invoice	TAX8/2016	8/12/2016			
Transaction Date	8/11/2016	Citizens	111000	<b>Total</b>	\$885,368.04

# VILLAGE OF MUKWONAGO

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## Payments

Current Period: August 2016

### Fund Summary

	111000 Citizens
100 GENERAL FUND	\$55,863.94
150 FIRE/AMBULANCE FUND	\$13,604.14
200 COMMUNITY DEVELOPMENT FUND	\$2,911.06
220 TID#3 - GENERAL	\$1,826.74
340 VILLAGE DESIGNATED FUND	\$134.00
410 RECYCLING FUND	\$404.25
440 LIBRARY FUND	\$2,094.14
480 CAPITAL IMPROVEMENT FUND	\$19,771.71
500 STORM WATER UTILITY	\$2.12
610 WATER UTILITY FUND	\$3,462.22
620 SEWER UTILITY FUND	\$10,168.72
720 TAX ESCROW AGENCY FUND	\$885,512.04
	<hr/>
	\$995,755.08

Pre-Written Checks	\$0.00
Checks to be Generated by the Computer	\$995,755.08
Total	<hr/>
	\$995,755.08



Committee/Board:	Finance Committee
Topic:	Sale of surplus and retired equipment
From:	Ron Bittner
Department:	Public Works
Presenter:	Ron
Date of Committee Action (if required):	August 1 <sup>st</sup> , 2016
Date of Village Board Action (if required):	August 16 <sup>th</sup> , 2016

**Information**

**Subject:**

Authorization to sell surplus and retired equipment

**Background Information/Rationale:**

DPW proposes to advertise and sell unused and retired equipment through Wisconsin Surplus Action Services.

**Key Issues for Consideration:**

**Fiscal Impact (If any):**

**Requested Action by Committee/Board:**

Recommendation the Village Board to authorize the sale of DPW equipment

**Attachments**

List of Items

1. Ford 1 Ton Bucket truck.
2. 1999 Chevy 1 Ton baby dump truck.
3. Toro with cab, snow blower and mower deck.
4. Miscellaneous Toro parts
5. Obsolete pickup parts.
6. Asphalt cutting wheel.
7. Hydraulic jack hammer.
8. Bubblers
9. Western Salter and Controls
10. Culverts and end walls.
11. Wheel Jack.
12. Welded wire fence.
13. Pickup truck bed tool boxes.
14. Oil Cans

8/26-28

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6434  
Fax: (262) 363-6438  
www.villageofmukwonago.com

# VILLAGE OF MUKWONAGO

## SPECIAL EVENT PERMIT APPLICATION

Application Fee: See fee sheet

Application must be received a minimum of 90 days prior to the special event. Fees are non-refundable.

### ORGANIZATION INFORMATION

Name of Organization: St. James Catholic Parish  
Mailing Address: 830 County Rd NW East City: Mukwonago State: WI Zip: 53149  
Phone Number: 262-363-7615 Is the organization a 501(c)3 organization?  YES  NO  
Website Address: www.stjamesmukwonago.org  
Event Contact Person: Keith Fisher, Chairperson Cheryl Marotta, parish business mgr.  
Mailing Address: as above City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Home Phone: N/A Work Phone: 262-363-7615 Cell Phone: 262-347-6454  
Email Address: marottaC@stjmk.org ; Keithfis@msn.com

### EVENT INFORMATION

Name of the Event: St. James Parish Festival Date(s) of the Event: Aug. 26-28, 2016  
Event Start Time: Aug. 26 4:00pm Event End Time: Aug. 28 5:00pm  
Location of the Event: ON THE ST. JAMES PARISH PROPERTY

- A. Will your event take place in a residential neighborhood? *If yes, you will be required to notify all adjacent property owners when the event will occur.*  YES  NO
- B. You MUST attach a detailed map/sketch of your event indicating the specific location, layout of your event, and the direction of the route, including all turns and the number of traffic lanes to be used.
- C. If you are using a Village park, you must reserve the park through the Village Clerk-Treasurer's Office prior to getting your special event permit approved by the Village Board. Call 262-363-6420, Option 4.
- D. Generally describe your event and its purpose.

Parish festival  
A fundraiser and social event for the parish.

E. Based on the class definitions found in the manual, what class is your event?  CLASS I  CLASS II  
F. Estimated # of participants: 300/day Spectators: 300 Vendors: 6-7/day

**OTHER INFORMATION**

- A. Is there an outdoor bar that will serve alcohol? *If yes, temporary Class B beer and/or wine (picnic) and operator (bartender) licenses are necessary under separate application.*  YES  NO
- B. Please list the number of Village of Mukwonago licensed bartenders that will be on site: 1 or more
- C. Will you be selling/serving food? *If yes, you will need to contact Waukesha County Health Department (262-896-8300) for proper permits.*  YES  NO
- D. Will your event need electricity? *If yes, the Fire Department and Building Inspection Department will need to inspect prior to being energized.*  YES  NO
- E. Will you be setting up any lighting? *If yes, the Fire Department and Building Inspection Department will need to inspect prior to being energized.*  YES  NO
- F. Will your event require any fencing? *If yes, please provide plans for the fencing location and the gates.*  YES  NO
- G. Does your event involve fireworks? *If yes, you will need to contact the Fire Department (262-363-6426) for proper permits.*  YES  NO
- H. Does your event involve amplified music?  
If yes, will the amplified music be a:  Band  DJ  Other  
Hours of amplified music: 15
- I. Please list the number of security staff you will be providing for the event: 1 police officer + reserve officers
- J. Will you need barricades provided by the Village for your event?  YES  NO  
If yes, how many? 24
- K. Will you be erecting any tents, canopies, or other temporary structure(s)? *If yes, please provide a plan for their proposed locations. The Fire Department and Building Inspection Department will need to inspect these structures prior to the start of your event.*  YES  NO
- L. Will you be providing portable restrooms and wash stations? *If yes, please provide a description of how many restrooms/wash stations will be provided, their locations, and the plan for how solid waste will be disposed of.*  YES  NO
- M. Will you provide parking for your participants? *If yes, please provide a plan describing where parking will be available.*  YES  NO
- N. Will you provide dumpster/clean-up services? *If yes, please provide a clean-up and refuse collection plan.*  YES  NO
- O. What other assistance do you foresee needing from the Village (personnel, materials, equipment, etc.)?  
none

- P. Have you reviewed and do you have a copy of the Village of Mukwonago Special Events Manual and the Village of Mukwonago Ordinance?  YES  NO

**INSURANCE REQUIREMENTS**

The Special Event Sponsor will obtain liability insurance for an event that includes alcohol, has more than 150 people per day or involves a road closure. Proof of this insurance with coverage no less than \$1,000,000 which names and endorses the Village, its officers, agents, employees, and contractors as an additional insured party is due no later than 20 days before the event.

- Are you able to provide these insurance documents, if required?  YES  NO

## PROCEDURAL CHECKLIST FOR SPECIAL EVENT PERMIT REVIEW AND APPROVAL

This form is designed to be a guide for submitting a complete application for a special event.

### Application:

- Completed application form including the procedural checklist.
- Application fee: see fee sheet.

### Other Documents:

- Plan of operation/proposal.
- Overview of the site to be used for the event (layout of the event site).
- Any additional information as determined by Village staff.

## DEPOSIT REQUIREMENTS

The applicant may be required to submit to the Village Clerk-Treasurer's Office a cleaning/damage deposit of \$200 for each scheduled day of the event (or portion thereof) two weeks prior to the starting date of the event. That deposit shall be refunded to the applicant, if, upon inspection, all is in order, or a prorated portion thereof as may be necessary to reimburse the Village for loss or cleaning costs. The Village reserves the right to retain the entire deposit if cleanup is not completed satisfactorily in the time frame as specified in the permit. Unless otherwise stated in the permit, the applicant shall be fully responsible for all necessary cleanup associated with the permitted event to be completed within 12 hours after the conclusion of the event. (This deposit is separate from any deposit required for rental of Village parks).

## TERMINATION OF AN EVENT

The Village reserves the right to shut down a special event that is in progress if it is deemed to be a public safety hazard by the Police Department, Fire Department, and/or there is a violation of Village Ordinances, State Statutes or the terms of the applicant's permit. The Village Administrator and/or his/her designee may revoke an approved Special Events Permit if the applicant fails to comply in good faith with the provisions of the permit prior to the event date.

## CERTIFICATION

By signing this form, the applicant certifies authorization to act on behalf of their organization, and hereby agrees to hold the Village, its officers, agents, employees, and contractors harmless against all claims, liability, loss, damage or expense (including but not limited to actual attorney fees) incurred by the Village for any damage or injury to person or property caused by or resulting directly or indirectly from the activities for which the permit is granted. Any change to coverage requires Village approval.

*(The applicant's signature must be from a Managing Member if the business/organization is an LLC, or from the President or Vice President if the business/organization is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below.)*

Rev. Michael G. Savio  
Signature - Applicant

\_\_\_\_\_  
Signature - Applicant

Rev. Michael G. Savio, Administrator  
Name & Title (PRINT)

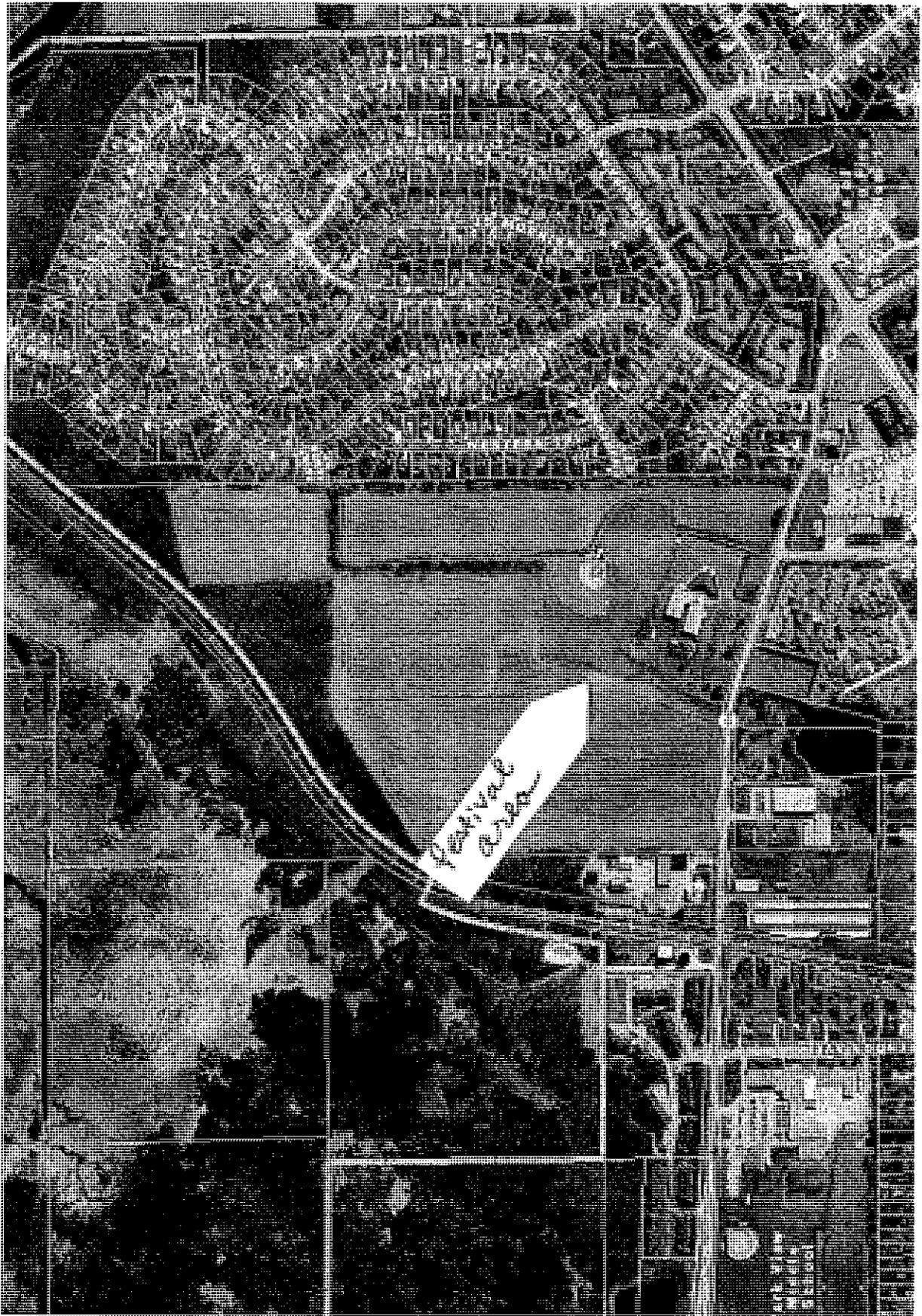
\_\_\_\_\_  
Name & Title (PRINT)

06-15-16  
Date

\_\_\_\_\_  
Date

FOR OFFICE USE ONLY			
Date Fees Paid <u>7-7-16 \$110</u>	Receipt # <u>7237</u>	Date Deposit Paid	Deposit Returned?
Police Department:	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Comments:		
Fire Department:	Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> Comments:		
Public Works Department:	Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> Comments:	<u>Need to contact DPW for barricades</u>	
Village Clerk:	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Comments:		
Village Board Approval Date	Village President Signature	Permit #	Issue Date





# Certificate of Coverage

Date: 5/17/2015

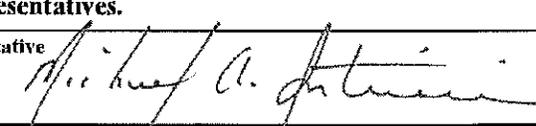
<b>Certificate Holder</b> Archdiocese of Milwaukee Archbishop Cousins Catholic Center PO Box 07912 Milwaukee, WI 53207-0912	<b>This Certificate is issued as a matter of information only and confers no rights upon the holder of this certificate. This certificate does not amend, extend or alter the coverage afforded below.</b>
<b>Covered Location</b> St. James Catholic Parish 830 County Road NN East Mukwonago, WI 53149	<b>Company Affording Coverage</b> THE CATHOLIC MUTUAL RELIEF SOCIETY OF AMERICA 10843 OLD MILL RD OMAHA, NE 68154

**Coverages**

**This is to certify that the coverages listed below have been issued to the certificate holder named above for the certificate indicated, notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the coverage afforded described herein is subject to all the terms, exclusions and conditions of such coverage. Limits shown may have been reduced by paid claims.**

	Type of Coverage	Certificate Number	Coverage Effective Date	Coverage Expiration Date	Limits
	Property				Real & Personal Property
	<b>D. General Liability</b> <input checked="" type="checkbox"/> Occurrence <input type="checkbox"/> Claims Made	8595	7/1/2014	7/1/2016	Each Occurrence
					1,000,000
					General Aggregate
					2,000,000
					Products-Comp/OP Agg
					Personal & Adv Injury
	Excess Liability	8595	7/1/2014	7/1/2016	Each Occurrence
					1,000,000
					Annual Aggregate
	Other				Each Occurrence
					Claims Made
					Annual Aggregate
					Limit/Coverage

**Description of Operations/Locations/Vehicles/Special Items (the following language supersedes any other language in this endorsement or the Certificate in conflict with this language)**  
 General liability coverage, including liquor liability coverage, is evidenced for St. James Catholic Parish for the term of the certificate.

<b>Holder of Certificate</b> The Village of Mukwonago 9 N. River Crest Ct. P.O. Box 206 Mukwonago, WI 53149	<b>Cancellation</b> Should any of the above described coverages be cancelled before the expiration date thereof, the issuing company will endeavor to mail <u>30</u> days written notice to the holder of certificate named to the left, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents or representatives. Authorized Representative 
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0065006283

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6434  
Fax: (262) 363-6438  
www.villageofmukwonago.com

# VILLAGE OF MUKWONAGO SPECIAL EVENT PERMIT APPLICATION

Application Fee: See fee sheet

Application must be received a minimum of 90 days prior to the special event. Fees are non-refundable.

## ORGANIZATION INFORMATION

Name of Organization: Mukwonago Area Chamber of Commerce  
Mailing Address: 100 Atkinson St City: Mukwonago State: WI Zip: 53149  
Phone Number: (262) 363-7758 Is the organization a 501(c)3 organization?:  YES  NO  
Website Address: www.mukwonago chamber.org  
OFFICE  
Event Contact Person: Candice Grenich  
Mailing Address: same City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Home Phone: \_\_\_\_\_ Work Phone: \_\_\_\_\_ Day Of: April Reszka  
Cell Phone: (262) 751-1651  
Email Address: assistant@mukwonago chamber.org

## EVENT INFORMATION

Name of the Event: Mukwonago Fall Fest Date(s) of the Event: September 24, 2016  
Event Start Time: Setup - 8am Roads closed - 9am Event Start 10am Event End Time: 5pm  
Location of the Event: Downtown Mukwonago

- A. Will your event take place in a residential neighborhood? *If yes, you will be required to notify all adjacent property owners when the event will occur.*  YES  NO
- B. You MUST attach a detailed map/sketch of your event indicating the specific location, layout of your event, and the direction of the route, including all turns and the number of traffic lanes to be used.
- C. If you are using a Village park, you must reserve the park through the Village Clerk-Treasurer's Office prior to getting your special event permit approved by the Village Board. Call 262-363-6420, Option 4.
- D. Generally describe your event and its purpose.

Village-wide celebration! Event to attract tourists while providing entertainment for local residents as well as promote local businesses.

- E. Based on the class definitions found in the manual, what class is your event?  CLASS I  CLASS II
- F. Estimated # of participants: 2000 Spectators: 1950 Vendors: 50

Check # 5708

\$20. -

Please contact our office when special Event Rates are approved *If we owe more*

**OTHER INFORMATION**

- A. Is there an outdoor bar that will serve alcohol? *If yes, temporary Class B beer and/or wine (picnic) and operator (bartender) licenses are necessary under separate application.*  YES  NO
- B. Please list the number of Village of Mukwonago licensed bartenders that will be on site: 1 *Sons of the Knight Chief Kevin Schmitt*
- C. Will you be selling/serving food? *If yes, you will need to contact Waukesha County Health Department (262-896-8300) for proper permits.*  YES  NO
- D. Will your event need electricity? *If yes, the Fire Department and Building Inspection Department will need to inspect prior to being energized.*  YES  NO
- E. Will you be setting up any lighting? *If yes, the Fire Department and Building Inspection Department will need to inspect prior to being energized.*  YES  NO
- F. Will your event require any fencing? *If yes, please provide plans for the fencing location and the gates.*  YES  NO
- G. Does your event involve fireworks? *If yes, you will need to contact the Fire Department (262-363-6426) for proper permits.*  YES  NO
- H. Does your event involve amplified music?  YES  NO  
 If yes, will the amplified music be a:  Band  DJ  Other  
 Hours of amplified music: 10am-5pm
- I. Please list the number of security staff you will be providing for the event: 1
- J. Will you need barricades provided by the Village for your event?  YES  NO  
 If yes, how many? To discuss w/ DPW
- K. Will you be erecting any tents, canopies, or other temporary structure(s)? *If yes, please provide a plan for their proposed locations. The Fire Department and Building Inspection Department will need to inspect these structures prior to the start of your event.*  YES  NO
- L. Will you be providing portable restrooms and wash stations? *If yes, please provide a description of how many restrooms/wash stations will be provided, their locations, and the plan for how solid waste will be disposed of.*  YES  NO
- M. Will you provide parking for your participants? *If yes, please provide a plan describing where parking will be available.*  YES  NO
- N. Will you provide dumpster/clean-up services? *If yes, please provide a clean-up and refuse collection plan.*  YES  NO
- O. What other assistance do you foresee needing from the Village (personnel, materials, equipment, etc.)?  
Will discuss with DPW  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- P. Have you reviewed and do you have a copy of the Village of Mukwonago Special Events Manual and the Village of Mukwonago Ordinance?  YES  NO

**INSURANCE REQUIREMENTS**

The Special Event Sponsor will obtain liability insurance for an event that includes alcohol, has more than 150 people per day or involves a road closure. Proof of this insurance with coverage no less than \$1,000,000 which names and endorses the Village, its officers, agents, employees, and contractors as an additional insured party is due no later than 20 days before the event.

- Are you able to provide these insurance documents, if required?  YES  NO

## PROCEDURAL CHECKLIST FOR SPECIAL EVENT PERMIT REVIEW AND APPROVAL

This form is designed to be a guide for submitting a complete application for a special event.

### Application:

- Completed application form including the procedural checklist.
- Application fee: see fee sheet.

### Other Documents:

- Plan of operation/proposal.
- Overview of the site to be used for the event (layout of the event site).
- Any additional information as determined by Village staff.

## DEPOSIT REQUIREMENTS

The applicant may be required to submit to the Village Clerk-Treasurer's Office a cleaning/damage deposit of \$200 for each scheduled day of the event (or portion thereof) two weeks prior to the starting date of the event. That deposit shall be refunded to the applicant, if, upon inspection, all is in order, or a prorated portion thereof as may be necessary to reimburse the Village for loss or cleaning costs. The Village reserves the right to retain the entire deposit if cleanup is not completed satisfactorily in the time frame as specified in the permit. Unless otherwise stated in the permit, the applicant shall be fully responsible for all necessary cleanup associated with the permitted event to be completed within 12 hours after the conclusion of the event. (This deposit is separate from any deposit required for rental of Village parks).

## TERMINATION OF AN EVENT

The Village reserves the right to shut down a special event that is in progress if it is deemed to be a public safety hazard by the Police Department, Fire Department, and/or there is a violation of Village Ordinances, State Statutes or the terms of the applicant's permit. The Village Administrator and/or his/her designee may revoke an approved Special Events Permit if the applicant fails to comply in good faith with the provisions of the permit prior to the event date.

## CERTIFICATION

By signing this form, the applicant certifies authorization to act on behalf of their organization, and hereby agrees to hold the Village, its officers, agents, employees, and contractors harmless against all claims, liability, loss, damage or expense (including but not limited to actual attorney fees) incurred by the Village for any damage or injury to person or property caused by or resulting directly or indirectly from the activities for which the permit is granted. Any change to coverage requires Village approval.

*(The applicant's signature must be from a Managing Member if the business/organization is an LLC, or from the President or Vice President if the business/organization is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below.)*

  
Signature - Applicant

\_\_\_\_\_  
Signature - Applicant

April D. Reszka, Exec. Director  
Name & Title (PRINT)

\_\_\_\_\_  
Name & Title (PRINT)

3/4/16  
Date

\_\_\_\_\_  
Date

FOR OFFICE USE ONLY			
Date Fees Paid 3/15/16	Receipt # 4939.677	Date Deposit Paid	Deposit Returned?
Police Department:	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Comments:		
Fire Department:	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Comments:		
Public Works Department:	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Comments:		
Village Clerk:	Approved <input type="checkbox"/> Denied <input type="checkbox"/> Comments:		
Village Board Approval Date	Village President Signature	Permit #	Issue Date

**Change of Agent List to Judicial Committee for August 1, 2016 Meeting**

*Dated 07-29-2016*

<u>Last Name</u>	<u>First Name</u>	<u>M</u>	<u>Business</u>	<u>Disposition of Investigative Check</u>
Gonzalez	Lourdes		Wildflower Café	No criminal History



Committee/Board:	Public Works Committee
Topic:	Public bid for roof replacement on the Police Department
From:	Chief Kevin Schmidt
Department:	Police Department
Presenter:	Chief Kevin Schmidt
Date of Committee Action (if required):	August 1, 2016
Date of Village Board Action (if required):	August 16, 2016

---

### Information

**Subject:**

Request permission to put out a public bid for replacing the Police Department roof

**Background Information/Rationale:**

The roof on the original building is the original roof, completed in 1979.

**Key Issues for Consideration:**

**Fiscal Impact (If any):**

Money has been budgeted in the 2016 Capital budget

**Requested Action by Committee/Board:**

Request authorization to begin the public bidding process

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### Attachments

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**RESOLUTION 2016-XXX**

**A RESOLUTION NAMING CTH NN AND CTH NN EAST WITHIN THE VILLAGE LIMITS**

**WHEREAS**, the portion of CTH NN from the west Village limits to North Rochester Street (also known as STH 83) lies within the Village limits; and

**WHEREAS**, the portion of CTH NN East from North Rochester Street (also known as STH 83) to Fox Street (also known as CTH ES) lies within the Village limits; and

**WHEREAS**, “County Trunk Highway” (CTH) NN and CTH NN E is a Waukesha County Highway designation, not a Village street name; and

**WHEREAS**, the Village Board has never given these roads a Village street name; and

**WHEREAS**, upon the recommendations of Village staff, the Village Board has determined it to be necessary and appropriate to name this road for clarity and continuity, for emergency services, and for locating addresses.

**NOW, THEREFORE, BE IT RESOLVED** by the Village Board of the Village of Mukwonago, Wisconsin, that the portion of CTH NN from the west Village limits to North Rochester Street (also known as STH 83) shall be named “West Veterans Way,” and CTH NN East from North Rochester Street (also known as STH 83) to Fox Street (also known as CTH ES) shall be named “East Veterans Way.”

**BE IT FURTHER RESOLVED**, that all existing properties that abut these roadway will be given new addresses.

**BE IT FURTHER RESOLVED**, that new name of the roads shall take effect on January 1, 2017.

**PASSED AND ADOPTED** by the Village Board of the Mukwonago, Waukesha and Walworth Counties, Wisconsin this 16<sup>th</sup> day of August, 2016.

\_\_\_\_\_  
Fred H. Winchowky, Village President

Attest: \_\_\_\_\_  
Steven A. Braatz, Jr., Clerk-Treasurer

August 12, 2016

Fred Winchowky, Village President  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Site Plan and Architectural Plan Review/Instrument Development Corporation

Dear President Winchowky and Members of the Plan Commission:

Kevin Sinnett on behalf of Instrument Development Corporation, 820 Swan Drive, has submitted application and plans for site plan and architectural plan approval. Proposed are north and south additions to the existing back shop and office of 10,000 square feet. The north addition is proposed at 9,900 square feet and the south addition is 2,500 square feet. The 6.65 acre site is zoned M-4 Median/Heavy Industrial District and is located at the northeast corner of Holz Parkway and Swan Drive. Please see the description of the project submitted by the applicant.

While there are remaining matters to be resolved, Village staff believes the proposal is ready for recommendation to the Village Board with conditional approval of several matters that must be handled before the Village will issue any building permit.

Attached please find my July 8, 2016 report that outlined three matters. Staff has verified that with the number of employees on the site over two work shifts, the proposed 93 parking spaces on the site are sufficient. The dimensions of the drives and parking areas have been verified as correct. Lastly, while the metal panels on the south addition exceed 25% of exterior, on the entire building with the north and south additions, the metal panels are less than 25% and meet the criterion for the M-4 zoning district.

### **Recommendation**

I recommend approval of the proposal subject to the conditions list below. The matters remaining to be resolved are reflected in the first and second conditions.

1. Prior to issuance of any building permit for the subject additions, the following must occur with Village Engineer confirmation that the issues have been completed.
  - a. Stabilization of the site grading that has already occurred, in accordance with the Village issued erosion control permit.
  - b. Submittal of site wetland delineation to be approved by the Wisconsin Department of Natural Resources.
  - c. A Storm Water Management Plan in accordance with Village Municipal Code Chapter 34.

2. Prior to issuance of any building permit for the subject additions, the Mukwonago Fire Chief shall determine the need and type of fire suppression within the additions.
3. Approval of the plans for the 2,500 square foot south addition and 9,900 square foot north addition of Instrument Development Corporation at 820 Swan Drive, zoned as M-4 Medium/Heavy Industrial District, shall be subject to the package of documents and plans submitted by the applicant to the Village of Mukwonago. The plans may be further modified to conform to other conditions of approval and all plans may be further modified to conform to Village design standards. However, the basic layout of the site as depicted the site plan shall remain unchanged.
4. All ingress/egress drives and parking areas shown on the site plan shall remain private and shall be maintained in a usable and passable condition at all times.
5. If a Storm Water Management Plan is required as determined by the Village Engineer, approval shall be subject to approval of a Storm Water Maintenance Agreement by the Village Board.
6. With approval, the Plan Commission and Village Board grant allowance of multiple principal buildings on one lot.
7. Prior to issuance of the first building permit, a final landscape plan, exterior site lighting plan and dumpster enclosure plan shall be submitted for the approval of the Zoning Administrator.
8. The property shall be maintained in a clean condition, free of debris at all times. No junk, inoperable or abandoned vehicles, or vehicles undergoing repair shall be kept on the property at any time. No vehicles shall be parked in any area not designated for vehicle parking as provided on the site plan.
9. Only signs allowed by the Village Sign Code, and approved by either the Zoning Administrator or Plan Commission, shall be allowed on the property.
10. Prior to the start of any site construction or issuance of a building permit for both additions or the additions individually, whichever occurs first, the following shall occur:
  - a. Compliance with Conditions #1 and #2.
  - b. Village Board approval of a Storm Water Maintenance Agreement, if needed.
  - c. All final site development plans shall be consistent with the plans noted in Condition No. 3.
  - d. Approval of the plans by the Fire Chief, which may include, but are not limited to, the internal fire suppression system, external fire department connection location and hydrant locations.
  - e. Approval of building plans by the Building Inspector after receipt of approval of building plans by the State of Wisconsin.
  - f. Approval of building plans shall include appropriate locations of external mechanical equipment to be placed hidden from view from neighboring properties.
11. Prior to temporary occupancy issuance for any addition, and if needed prior to final occupancy permit, the following shall occur:

- a. Completion of all site grading and storm water management facilities (if needed) in accordance with approved plans, including landscaping that is a part of the storm water management facilities.
  - b. Completion of all exterior lighting for the building in accordance with approved plans.
  - c. Completion of the building in accordance with approved plans and all applicable codes.
  - d. Completion of a hard drive and parking surfaces from the exterior public right-of-way to the general area surrounding the building, including installation of handicapped parking signs.
  - e. Completion of the dumpster enclosures for the buildings so occupied.
12. Prior to final occupancy permit for any addition, which shall be issued not later than 120 days after any temporary occupancy permit, the following shall occur:
- a. Completion of all items within Condition No. 11.
  - b. Completion of paving and striping of the entire parking area, in accordance with approved plans.
  - c. Installation of all site landscaping.
  - d. Completion of any other municipal code requirement in the interest of the health, safety and welfare of the public.

I appreciate the opportunity to assist the Village of Mukwonago with the review of this proposal. Should any questions arise, please feel free to contact me.

Sincerely,



Bruce S. Kaniewski, AICP

Cc: John Weidl, Village Administrator (via email)  
Steve Braatz, Jr., Village Clerk (via email)  
Bob Harley, Supervisor of Inspections (via email)  
Kurt Peot, P.E., Village Engineer (via email)  
Kevin Schmidt, Police Chief (via email)  
Jeff Stien, Fire Chief (via email)  
Dave Brown, Utilities Superintendent (via email)  
Ron Bittner, Public Works Director (via email)  
Mark Blum, Village Attorney (via email)

Kevin Sinnett, Applicant (via email)  
Joe Sinnett, Architect (via email)  
Matt Gluszczyk, COO of IDC (via email)

July 8, 2016

Fred Winchowky, Village President  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Site Plan and Architectural Plan Review/Instrument Development Corporation

Dear President Winchowky and Members of the Plan Commission:

Kevin Sinnett on behalf of the Instrument Development Corporation, 820 Swan Drive, has submitted application and plans for site plan and architectural plan approval. Proposed are north and south additions to the existing back shop and office of 10,000 square feet. The north addition is proposed at 9,900 square feet and the south addition is 2,500 square feet. The 6.65 acre site is zoned M-4 Median/Heavy Industrial District and is located at the northeast corner of Holz Parkway and Swan Drive. Please see the good description of the project submitted by the applicant.

During the course of review, Village staff observed that grading commenced for the north addition without proper permits. The site has been "tagged" to stop work and a citation forwarded to the applicant. The site must be stabilized before proceeding with approval and it has been determined a storm water management plan must be submitted. However, Village staff asks for Plan Commission feedback to staff comments that can be addressed with updated plans.

On the next page please see the site shown in the middle of an aerial photo. Overlaid on the photo is a known wetland shown in light green. With the existence of the known wetland, the Wisconsin Department of Natural Resources (DNR) will require wetland delineation before they issue a Notice of Intent permit. In addition, the green cross hatch is a designated Isolated Natural Resource Area. An Isolated Natural Resource Area does not necessarily mean total preservation, but a DNR representative has informed staff it might be a wetland.

In addition to site stabilization, the need for wetland delineation and a storm water management plan, staff has the following comments for Plan Commission direction:

1. **Amount of Parking Spaces.** The new parking standards adopted in December 2015 require 3 spaces per each 1,000 square feet of manufacturing and office space. A total of 47,000 square feet building space with the additions requires 141 spaces, while 93 are shown on the plan. However, the parking standards state the following:

"For situations of building additions or a new use occupying an existing building, if utilization of building space for production, material storage and warehousing does not necessitate three (3)

spaces per 1,000 square feet, with justification provided by the building occupant the Plan Commission may set the minimum parking requirement for production, material storage and warehousing space at two (2) spaces per 1,000 square feet, while the minimum parking requirement for other building area remains at three (3) spaces per 1,000 square feet.”

Therefore, the Plan Commission may determine that 93 spaces on the site are sufficient.



2. **Exterior Design of Additions.** The M-4 design standards include the following:

*“Building materials and color.*

a. Exterior building materials shall convey an impression of durability. Materials such as decorative masonry, stone, brick block, aggregate panels and glass are permitted. Dryvit, metal and stucco may be used as trim material, not to exceed 25 percent of exterior area. Vinyl and aluminum siding are not permitted.

b. Exterior building colors shall be nonreflective, subtle, neutral, or earth tone. The use of high intensity colors, metallic colors, black, or fluorescent colors shall be prohibited. Building trim and architectural accent elements may feature brighter colors, but such colors shall be muted, not metallic, not fluorescent, and not specific to particular uses or tenants. Standard corporate and trademark colors shall be permitted only on sign face and copy areas.”

The north addition with painted masonry block, splitface and smooth face block conforms to the standard, in my opinion. Metal panels on the south addition do not conform.

3. **Parking Lot Dimensions.** A fully dimensioned site plan is needed to show that driveways and new parking spaces conform to required standards. To that end, it appears the driveway to the back portion of the site must be widened to conform to the following new standard within the parking requirements:

“All driveways internal to the site shall be designed for 2-way traffic at a minimum width of 24 feet, unless Plan Commission approval is received with justification from the applicant for a 20 foot 2-way traffic driveway or a 16 foot 1-way traffic lane (this does not apply to single-family, two-family or multi-family where a driveway directly extends from a public right-of-way to a garage for the individual dwelling unit).”

Staff looks forward to your direction. I any questions arise, please feel free to contact me.

Sincerely,



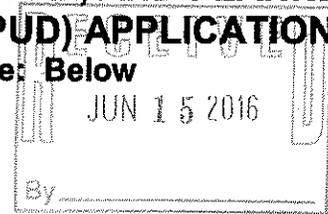
Bruce S. Kaniewski, AICP

Cc: John Weidl, Village Administrator (via email)  
Steve Braatz, Jr., Village Clerk (via email)  
Joe Hankovich, Supervisor of Inspections/Zoning Administrator (via email)  
Bob Harley, Codes Official (via email)  
Kurt Peot, P.E., Village Engineer (via email)  
Kevin Schmidt, Police Chief (via email)  
Jeff Stien, Fire Chief (via email)  
Dave Brown, Utilities Superintendent (via email)  
Ron Bittner, Public Works Director (via email)  
Mark Blum, Village Attorney (via email)  
Kevin Sinnett, Applicant (via email)  
Joe Sinnett, Architect (via email)  
Matt Gluszczyk, COO of IDC (via email)

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
www.villageofmukwonago.com

**VILLAGE OF MUKWONAGO**  
**SITE PLAN, ARCHITECTURAL, AND PLANNED**  
**UNIT DEVELOPMENT (PUD) APPLICATION**  
Application Fee: **Below**

Date Submitted: 06.14.2016



**FEES**

*(Please check one)*

- Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.
- Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.
- Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.
- Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit

**CONTACTS**

**Zoning Department**

Contact: Joe Hankovich  
Phone: (262) 363-6419  
Fax: (262) 363-6425  
Email: jhankovich@villageofmukwonago.com

**Planning Department**

Contact: Bruce Kanlewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: planner@villageofmukwonago.com

**GUIDELINES**

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk at least 30 days prior to the meeting of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Site Plan/Architectural Plan/Planned Unit Development  
PO Box 206  
Mukwonago, WI 53149

Deliver to: Village Clerk's Office  
440 River Crest Court

Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

**APPLICANT (Full Legal Name)**

Name: KEVIN SINNETT

Company: INSTRUMENT DEVELOPMENT CORPORATION

Address: 820 SWAN DR. City: MUKWONAGO State: WI Zip: 53149

Daytime Phone: 262-441-3302 Fax: \_\_\_\_\_

E-Mail: KevinS@idcwj.com

**APPLICANT IS REPRESENTED BY (Full Legal Name)**

Name: JOE SINNETT, AIA  
Company: \_\_\_\_\_  
Address: 19100 North Hills Dr City: BROOKFIELD State: WI Zip: 53045  
Daytime Phone: 262-470-3653 Fax: \_\_\_\_\_  
E-Mail: sinnett1423@gmail.com

**ARCHITECT**

Name: JOE SINNETT, AIA  
Company: \_\_\_\_\_  
Address: 19100 North Hills Dr. City: BROOKFIELD State: WI Zip: 53045  
Daytime Phone: 262-470-3653 Fax: \_\_\_\_\_  
E-Mail: sinnett1423@gmail.com

**PROFESSIONAL ENGINEER**

Name: CHRIS JACKSON, PE, PLS  
Company: CJ ENGINEERING  
Address: 9205 W. CENTER ST. City: MILWAUKEE State: WI Zip: 53222  
Daytime Phone: 414-<sup>SUITE 214</sup>443-1312 Fax: \_\_\_\_\_  
E-Mail: chris@cj-engineering.com

**REGISTERED SURVEYOR**

Name: MICHAEL BERRY  
Company: CAPITOL SURVEY ENTERPRISES  
Address: 220 REGENCY Ct. SUITE 210 City: BROOKFIELD State: WI Zip: 53045  
Daytime Phone: 262-786-6600 Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**CONTRACTOR**

Name: BRIAN WELLSLEY  
Company: W.M. CORPORATION  
Address: 529 W33948 Olde Oak Pass City: Oconomowoc State: WI Zip: 53066  
Daytime Phone: 414-630-3830 Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**PROPERTY INFORMATION**

Property Owner (s) (if different from applicant): KEVIN & JANI SINNETT, EXECUTIVE MOTORCOAC.  
Address: 540 W 30338 HAMILTON DR City: WAUKESHA State: WI Zip: 53189 LLC.  
Daytime Phone: 262-441-3302 Fax: \_\_\_\_\_  
E-Mail: KevinS@idcwi.com  
Present Zoning: M-4 Tax Key No(s): MUKV 1970987  
Location/Address: 820 SWAN DR.  
Present Use: LIGHT INDUSTRIAL Intended Use: LIGHT INDUSTRIAL

**PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL**

Submittals for review must include and be accompanied by the following:

**Application:**

- Completed application form including the procedural checklist.
- Application fee: See page 1.
- Agreement for Reimbursable Services (separate application).

**Other Documents:**

- Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.
  - Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
  - Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
  - Any additional information as determined by Village staff.
- 
- Upon receipt of a complete submittal, staff review will be conducted within ten business days.
  - All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.

**CERTIFICATION**

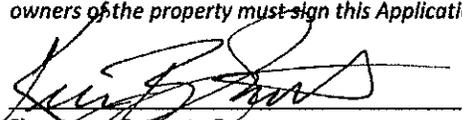
Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

  
 \_\_\_\_\_  
 Signature - Property Owner

Kevin Sinnett Owner  
 Name & Title (PRINT)

06/14/2016  
 Date

\_\_\_\_\_  
 Signature - Property Owner

\_\_\_\_\_  
 Name & Title (PRINT)

\_\_\_\_\_  
 Date

  
 \_\_\_\_\_  
 Signature - Applicant

Kevin Sinnett Owner  
 Name & Title (PRINT)

06/14/2016  
 Date

  
 \_\_\_\_\_  
 Signature - Applicant's Representative

JOSEPH A SINNETT  
 Name & Title (PRINT)

06.14.2016  
 Date

FOR OFFICE USE ONLY	
Date Paid <u>6-16-16</u> <u>\$498</u>	Receipt # <u>6948</u>
Plan Commission Date(s)	Village Board Date(s)
Escrow Required? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	

## Memorandum

<b>Date</b>	06.14.2016	<b>Distribution</b>
<b>To</b>	Plan Commission	
<b>From</b>	Joe Sinnett, AIA	
<b>Project</b>	Instrument Development Corp New Additions	
<b>Project Number</b>	215003.00	
<b>Re</b>	Project Summary	

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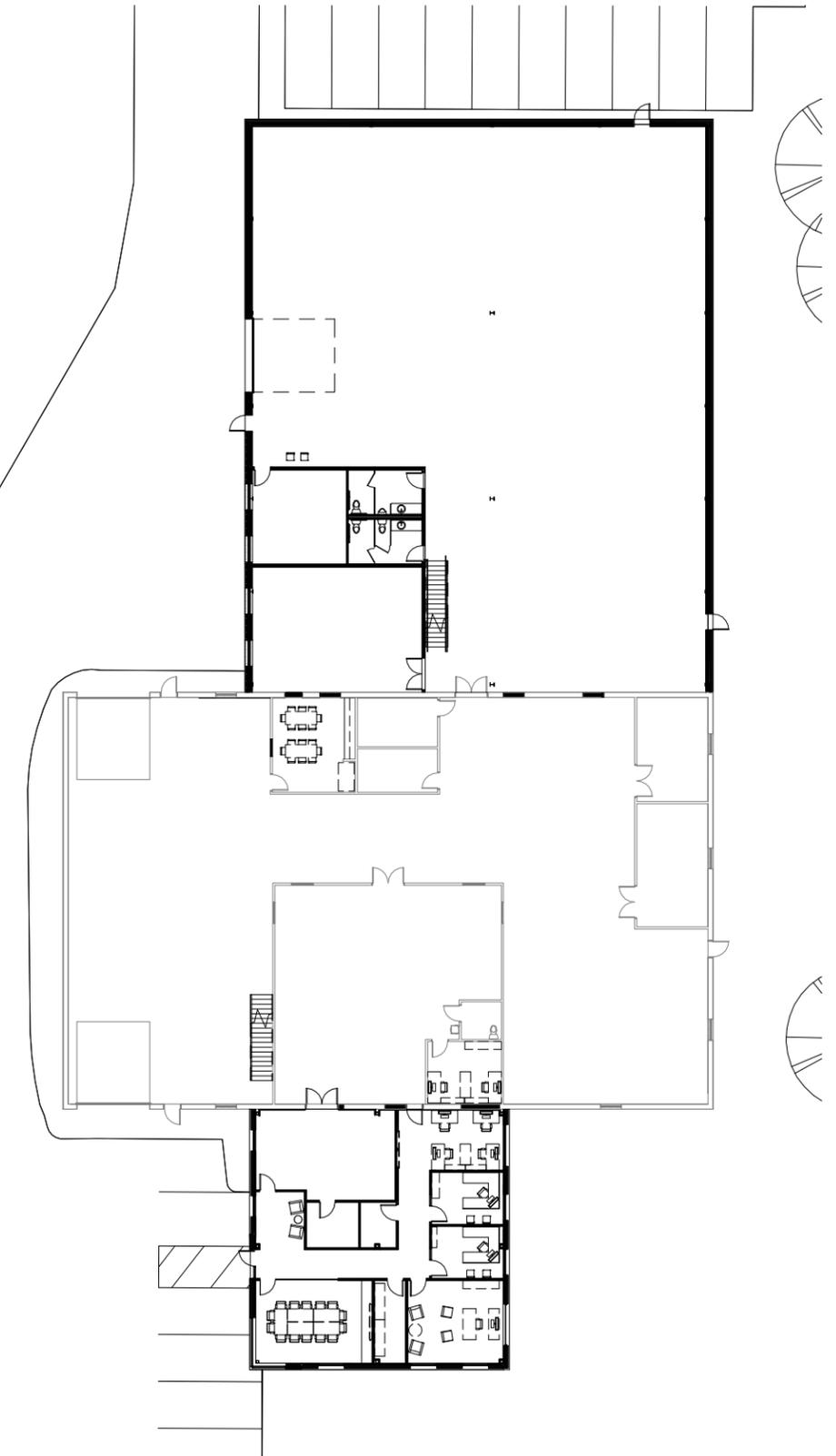
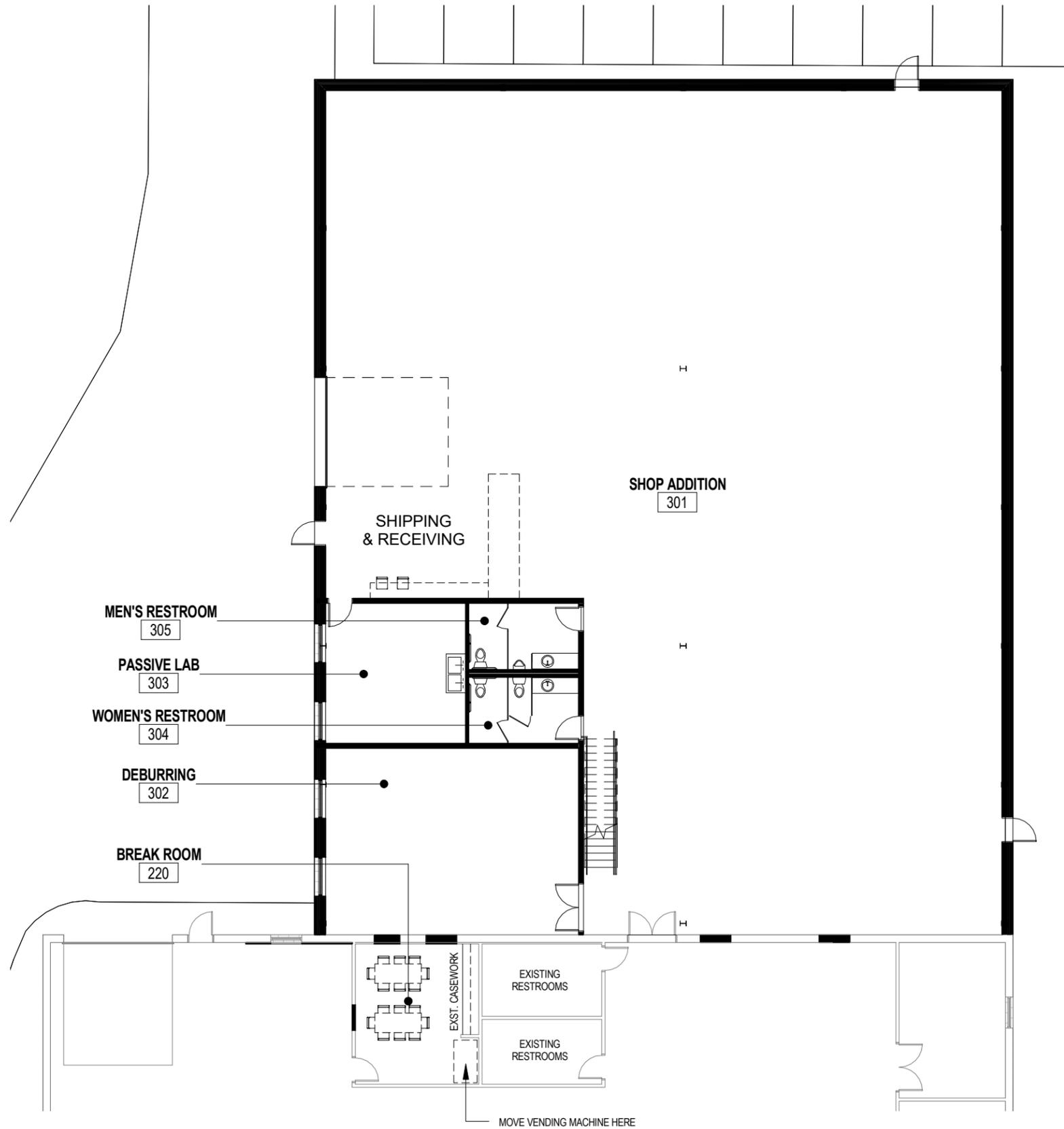
Instrument Development Corporation is proposing two new additions to provide more space in their growing operations in their ultra-precision machining business. Both additions will occur on their back plant. The first addition will be a new 2,500 SF office addition to provide additional office space along with a new corporate conference/training room. This addition will have a steel structure with steel stud framed exterior walls that will be finished with smooth face masonry along the base of the building to match the existing building. Then a corrugated metal accent panel will be used on the office as an accent to the all masonry existing building. At the entry and corner of the building a stack bond brick will be used to anchor the corner of the building. The addition to the north of the existing back plant will be a steel framed structure with steel girts and a metal panel substrate and finished on the exterior with a masonry block veneer to match the existing back plant.

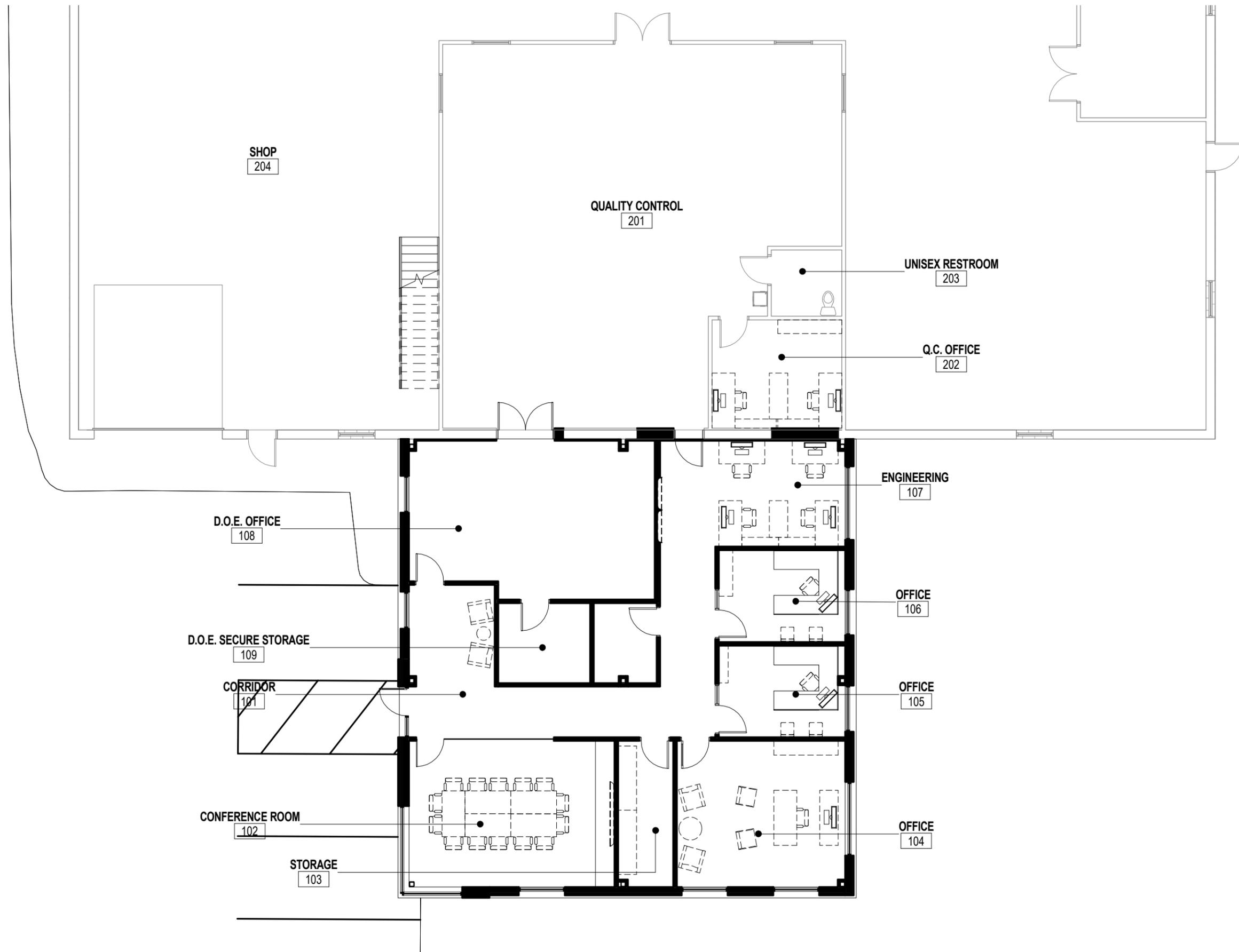
All hours of operation will remain unchanged with the new addition. Also trash/recycle facilities will remain and not increase. These are currently screened from public view by a wood slat fence that is 7'-0" h and other views are screened by a wooded area.

Parking on site will see (23) additional parking stalls added for a total of 93 stalls total on site with 80 provisional stall could be provided. The total provided with provisional stalls equals 173 stalls and exceeds the 172 required.

Joseph A Sinnett, AIA

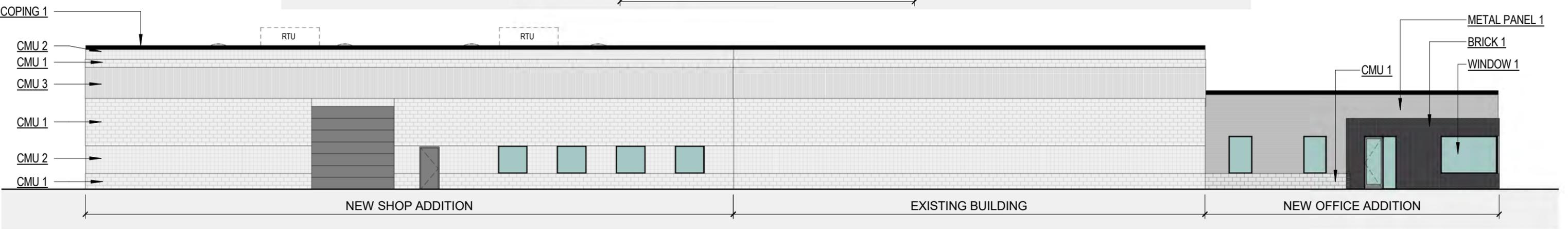
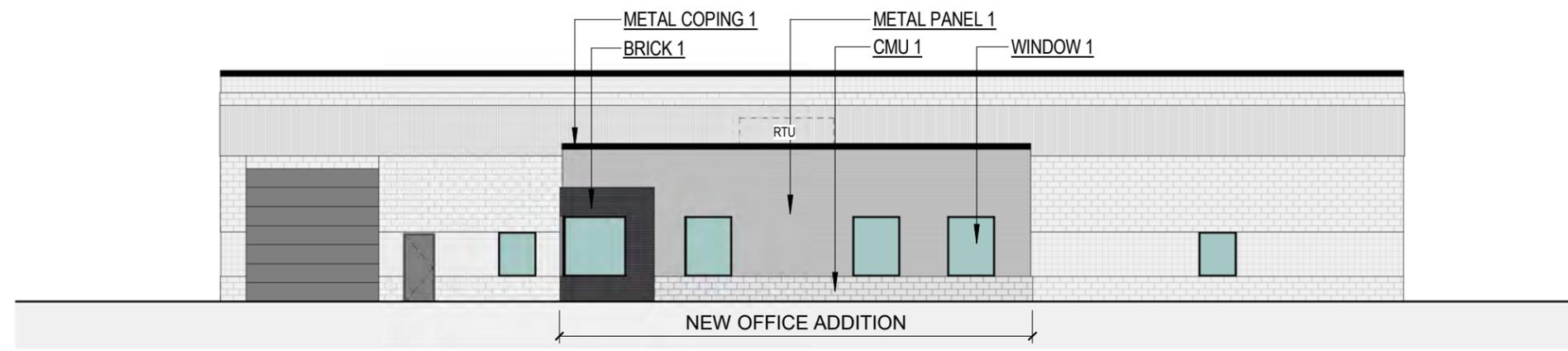
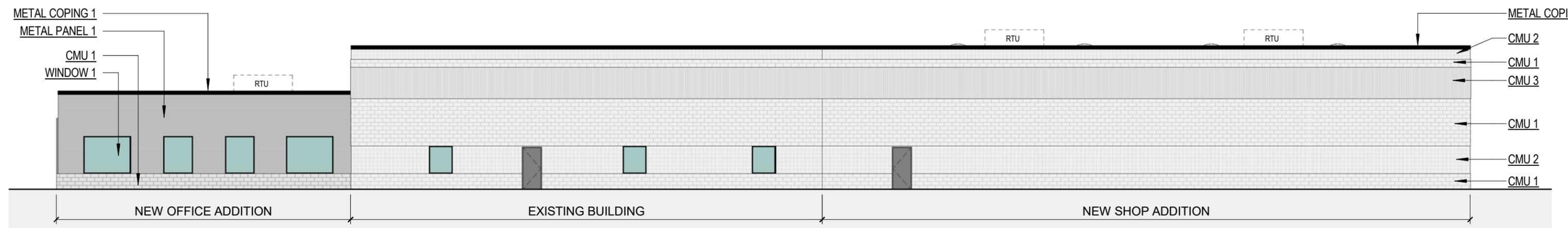
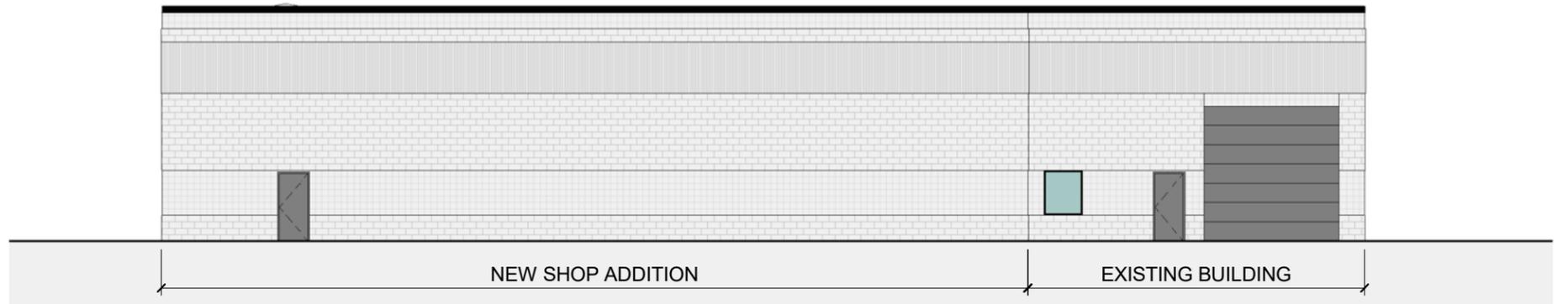






# ASSEMBLIES & COMPONENTS

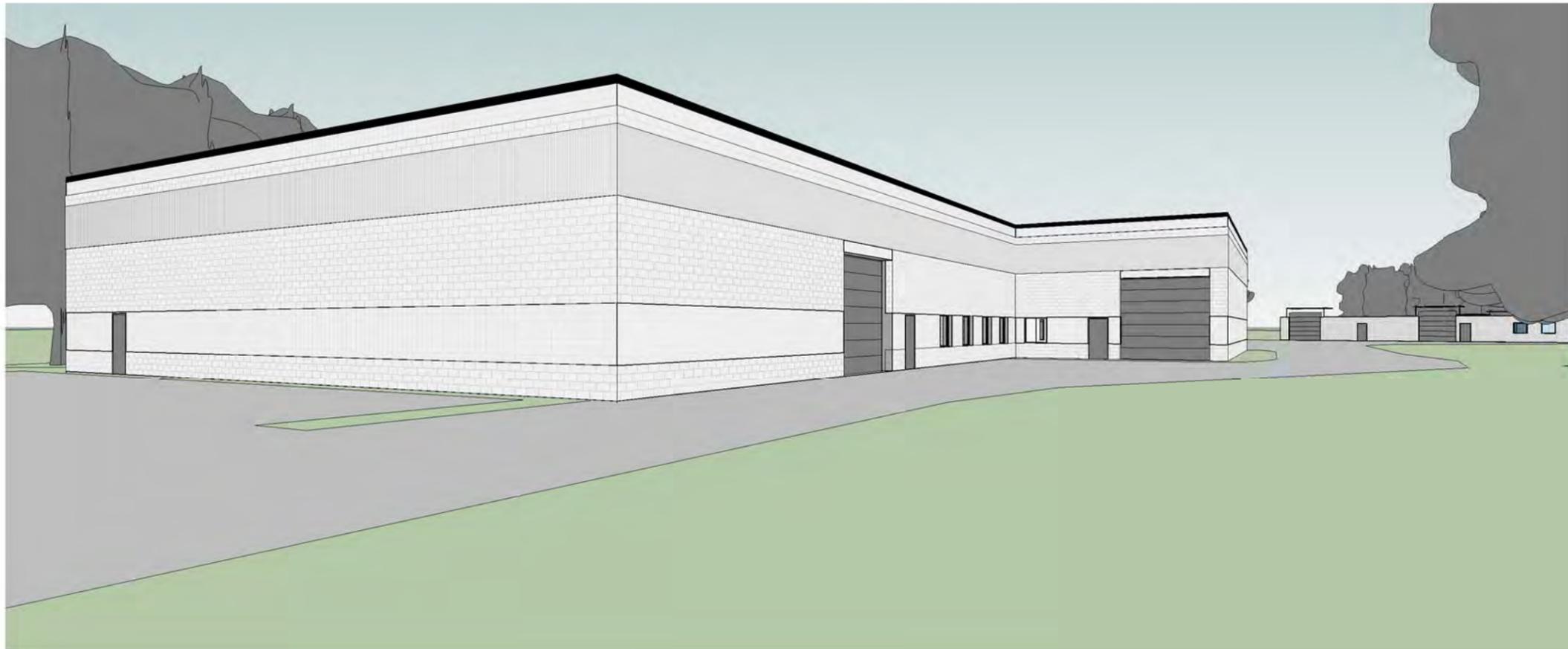
- BRICK 1 MODULAR CLAY BRICK MASONRY IN STACK BOND WITH TINTED MORTAR COLOR; BASIS OF DESIGN IS ENDICOTT'S MANGANESE IRONSPOT VELOUR
- CMU 1 12" SPLITFACE CMU, PAINTED LIGHT GRAY
- CMU 2 12" 1 SCORE SMOOTHFACE CMU, PAINTED GRAY
- CMU 3 12" FLUTED SPLITFACE CMU, PAINTED LIGHT GRAY
- METAL COPING 1 PREFINISHED SHEET METAL COPING WITH CONTINUOUS CLEATS ON 3/4" PRESSURE TREATED PLYWOOD BLOCKING; COLOR: BLACK
- METAL PANEL 1 CONCEALED FASTNER FLUSH METAL PANEL; BASIS OF DESIGN: METAL SPAN DESIGNER SERIES 16" FLUTED PANEL, COLOR: TUNDRA
- WINDOW 1 ALUMINUM FRAMED STICK-BUILT THERMALLY BROKEN STOREFRONT WINDOW, COLOR: BLACK



## ELEVATIONS



**3D EXTERIOR PERSPECTIVES**



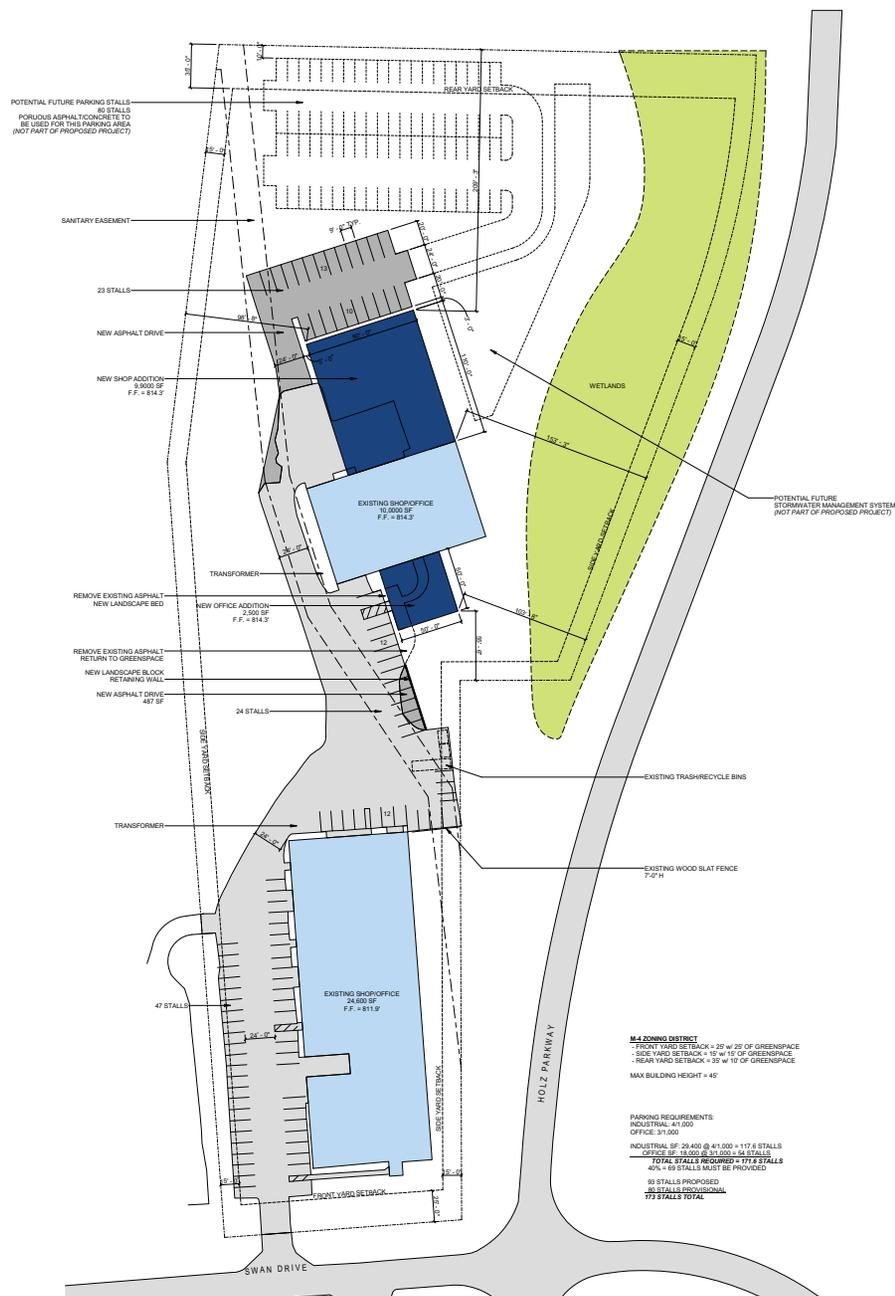
**3D EXTERIOR PERSPECTIVES**

**JOSEPH A SINNETT, AIA**  
ARCHITECT

**IDC - BACK PLANT EXPANSION**  
820 SWAN DRIVE  
MUKWONAGO, WI 53149



007 | 06.14.2016



1 SITE PLAN  
1" = 40'-0"

Revisions

MUNICIPAL APPROVALS

Drawing Date  
08.11.2016

IDC PLANT EXPANSION

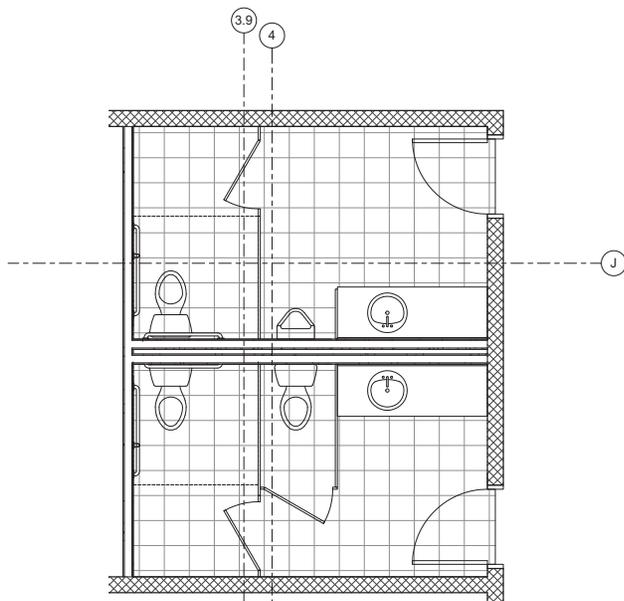
820 SWAN DRIVE  
MUKWONAGO, WI

Project No. 215003.00 INSTRUMENT DEVELOPMENT CORPORATION

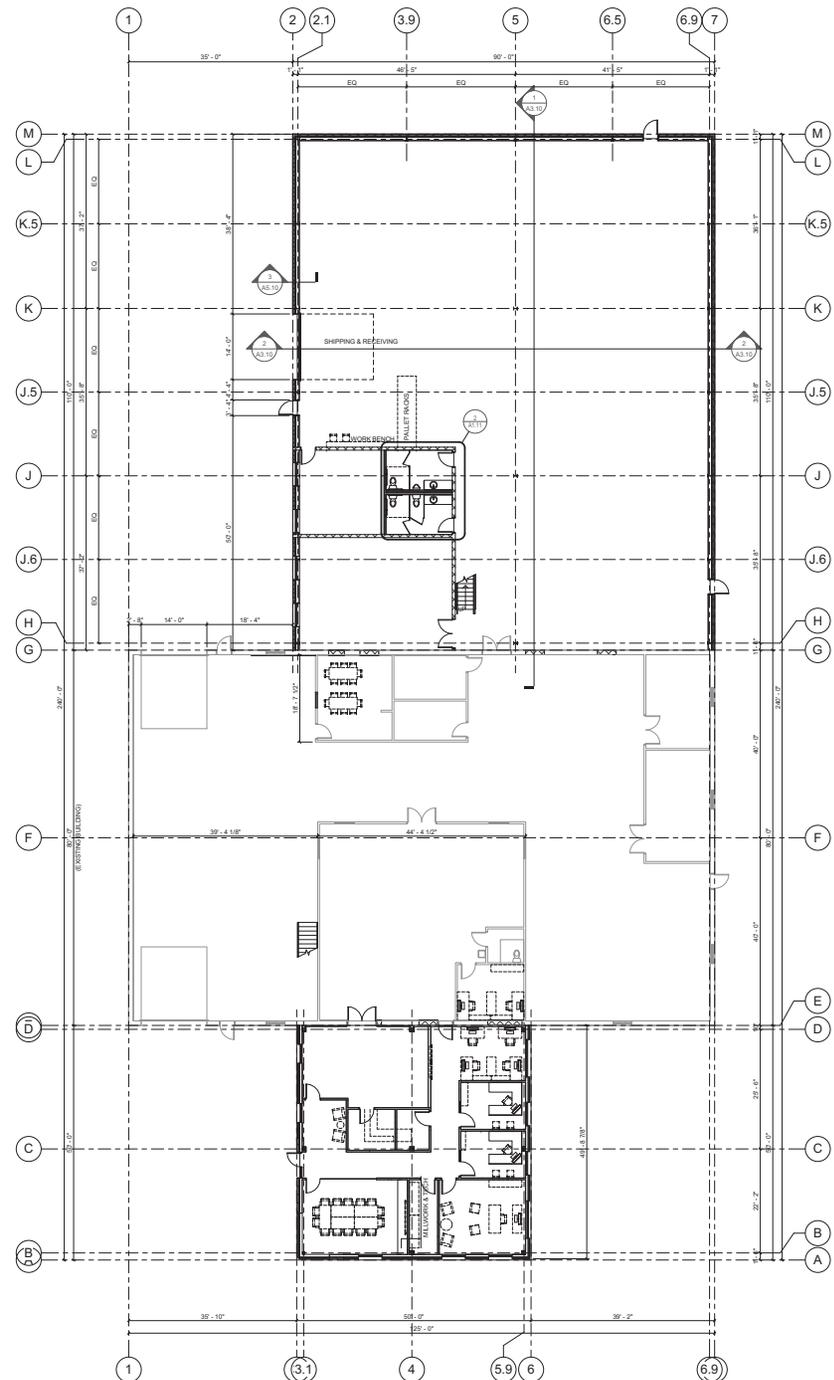
Sheet Title  
ARCHITECTURAL SITE PLAN

19100 North Hill Drive  
Brookfield, WI 53045

Sheet No.  
AS1.10



2 SHOP - RESTROOMS  
1/2" = 1'-0"



1 FIRST FLOOR PLAN  
3/32" = 1'-0"

Revisions

MUNICIPAL APPROVALS

Drawing Date  
08.14.2016

IDC - BACK PLANT  
EXPANSION

820 SWAN DRIVE  
MUKWONAGO, WI 53140

Project No. 215003.00 INSTRUMENT  
DEVELOPMENT  
CORP.

Sheet Title  
FLOOR PLAN - FIRST  
FLOOR

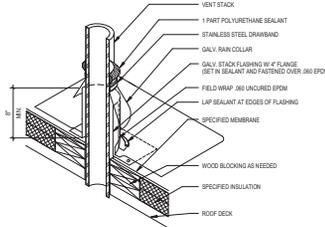
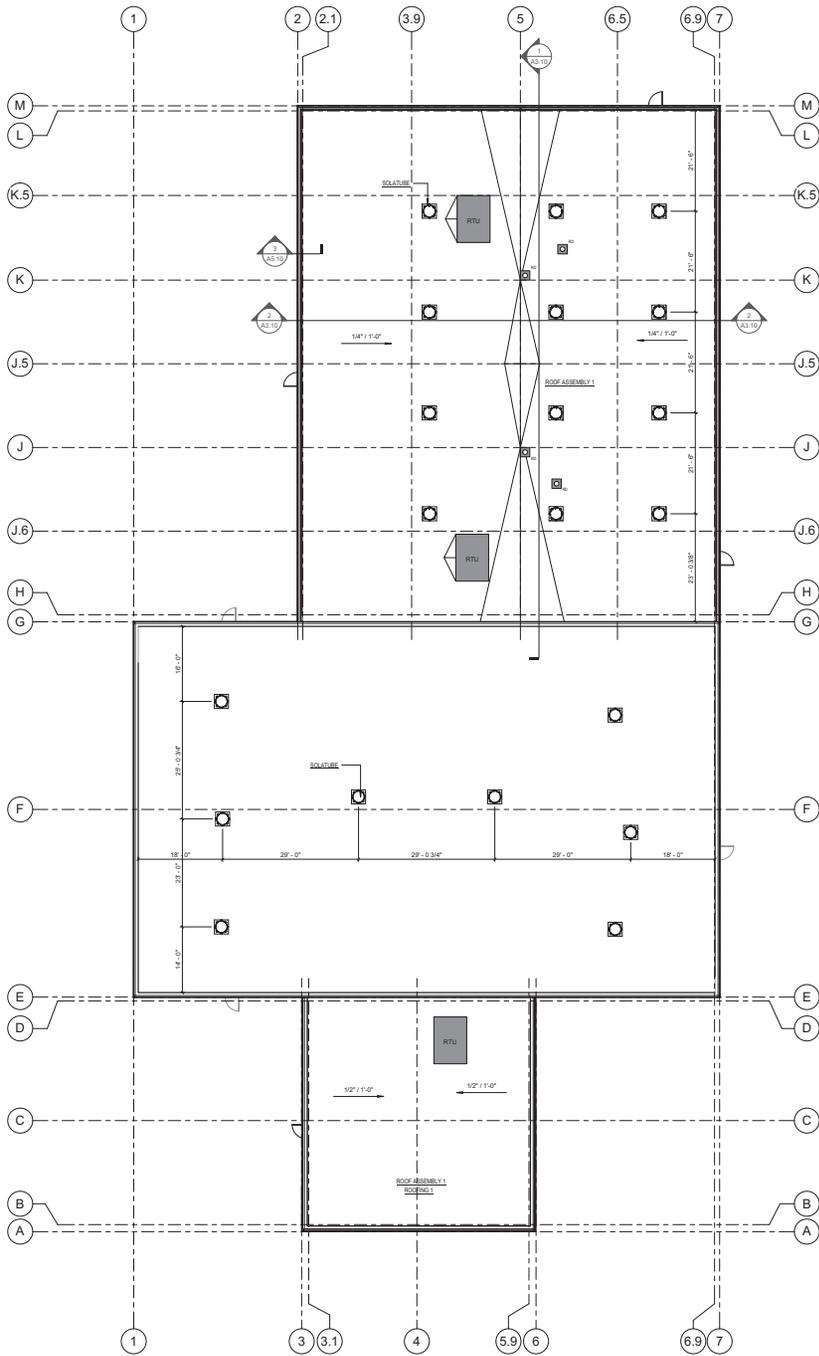
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9100 North 48th Street  
Brookfield, WI 53005

Sheet No.  
A1.11

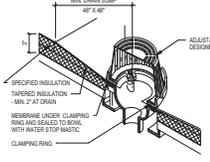
**ASSEMBLIES & COMPONENTS**

**ROOF ASSEMBLY 1**  
**ROOFING 1**  
**SOLATUBE**

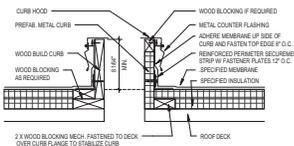
STEEL DECK - PROTECTION BOARD/ROOF REQUIRED FOR RIGID INSULATION,  
 RIGID INSULATION (MIN. R-20), ROOFING 1  
 FULLY ADHERED TPO ROOFING MEMBRANCE, BLACK  
 SOLATUBE 300 USE OPEN CEILING BAYLIGHT



**3 TYP - VENT STACK**  
 1 1/2" = 1'-0"



**2 TYP - ROOF DRAIN**  
 1 1/2" = 1'-0"



**1 ROOF CURBS**  
 1 1/2" = 1'-0"

**4 03-ROOF**  
 3/32" = 1'-0"

Revisions

MUNICIPAL APPROVALS

Drawing Date  
 08.14.2016

**IDC - BACK PLANT EXPANSION**

820 SWAN DRIVE  
 WAUKESHA, WI 53140

Project No. 215003.00 INSTRUMENT DEVELOPMENT CORP.

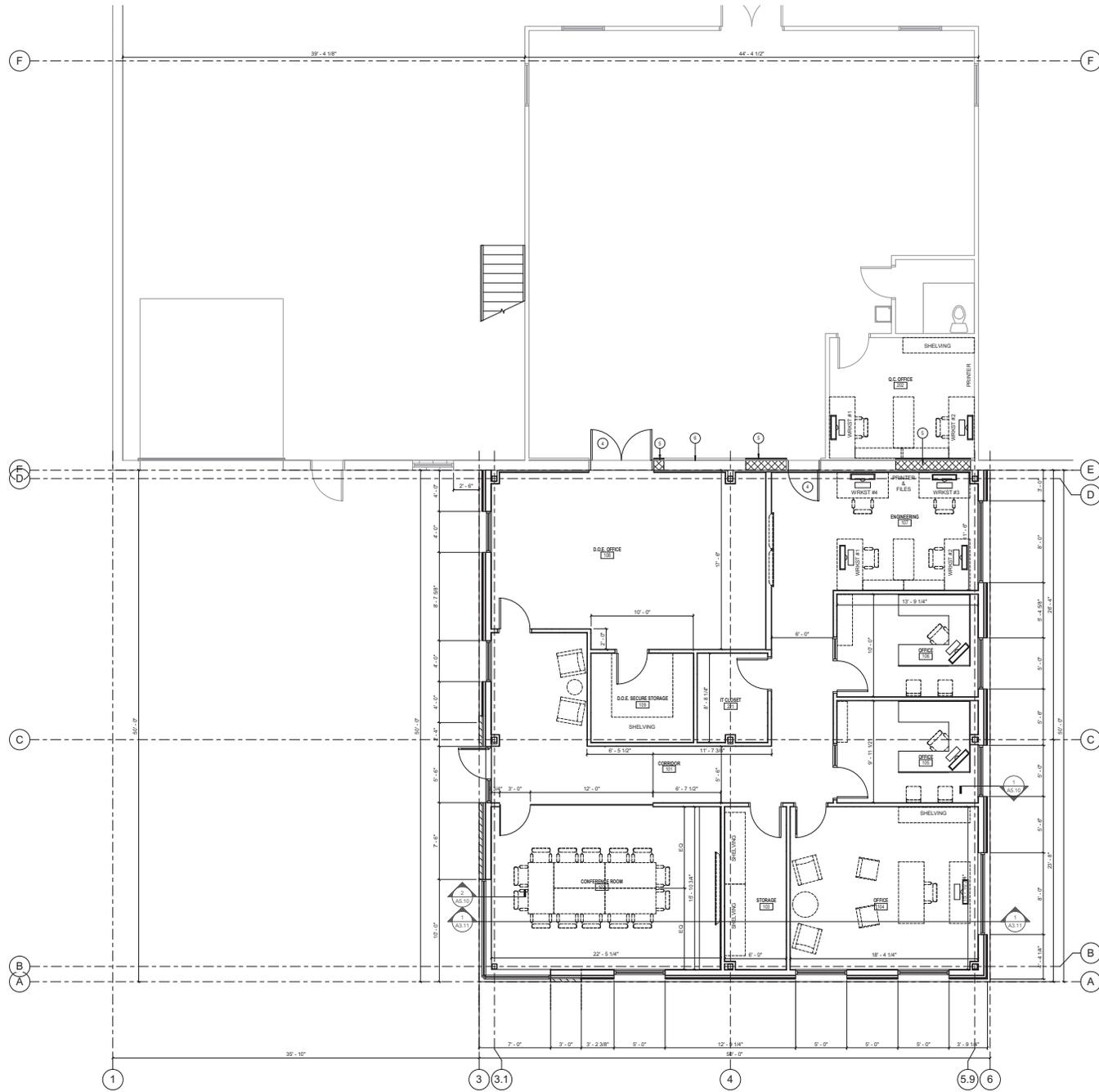
Sheet Title  
**ROOF PLAN**

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 1700 North Hill Drive  
 Brookfield, WI 53005

Sheet No.  
**A1.12**

PLAN KEYED NOTES

- 4 NEW FIRE DOOR 2HR RATING
- 5 NEW CMU TO INFILL EXISTING OPENINGS. 2HR FIRE RATING REQUIRED
- 6 EXISTING EXTERIOR CMU WALL TO NOW SERVE AS 2HR FIRE WALL TO SEPARATE FIRE AREAS. FIELD VERIFY EXISTING CMU WALL JOINT SPACING TO DETERMINE EXISTING WALL EQUIVALENT THICKNESS AND INHERENT FIRE RESISTANCE RATING



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

Revisions

MUNICIPAL APPROVALS

Drawing Date  
08.14.2016

IDC - BACK PLANT  
EXPANSION

820 SWAN DRIVE  
MUKWONAGO, WI 53140

Project No. 215003.00 INSTRUMENT  
DEVELOPMENT  
CORP.

Sheet Title  
OFFICE ADDITION

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Brookfield, WI 53005

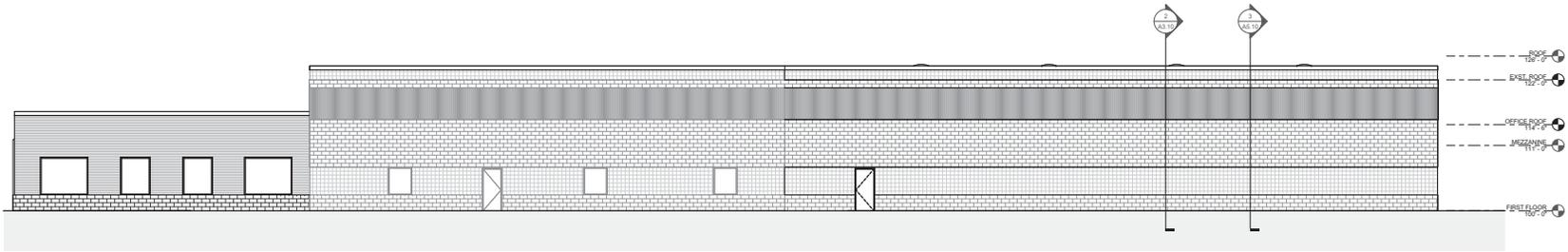
Sheet No.  
A1.13

**ASSEMBLIES & COMPONENTS**

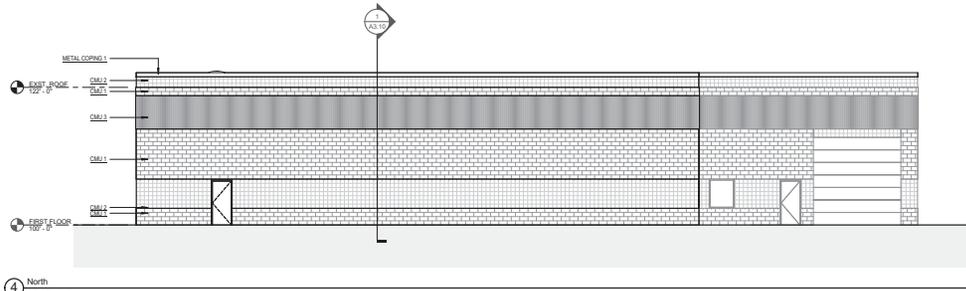
- BRICK 1  
MODULAR CLAY BRICK MASONRY IN STACK BOND WITH TINTED MORTAR  
COLOR: BASIS OF DESIGN IS ENDICOTT'S MANGANESE PINK/SPOT VELOUR
- CMU 1  
12" SPLIFFACE CMU, PAINTED LIGHT GRAY
- CMU 2  
12" S-CORE SMOOTHFACE CMU, PAINTED GRAY
- CMU 3  
12" FLUTED SPLIFFACE CMU, PAINTED LIGHT GRAY
- CONCRETE WALL  
POURED CONCRETE WALL WITH REINFORCEMENT. SEE STRUCTURAL  
DRAWINGS
- METAL COPING 1  
REFINISHED SHEET METAL COPING WITH CONTINUOUS CLEATS ON 3/4"  
PRESSURE TREATED PL WOOD BLOCKING. COLOR: BLACK
- METAL PANEL 1  
CONCAILED PARTNER FLUSH METAL PANEL. BASIS OF DESIGN: METAL SPAN  
DESIGNER SERIES 16" FLUTED PANEL. COLOR: TUNDRA

**GENERAL ELEVATION NOTES**

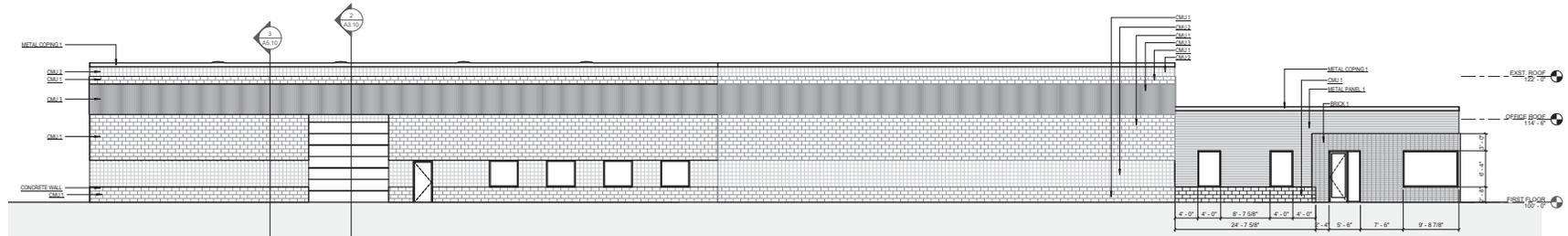
1. ALL METAL SURFACES EXPOSED TO VIEW (INCLUDING MISCELLANEOUS METALS PIPING, MECHANICAL EQUIPMENT, LADDERS, STAIRS, RAILING, COLUMNS, PLATFORMS, ETC.) SHALL BE PAINTED, U.N.O.
2. WINDOWS ARE ALUMINUM STOREFRONT U.N.O.
3. MEDICAL OFFICE BUILDING (MSB), WHERE SHOWN, IS FOR INFORMATION ONLY AND IS NOT INCLUDED IN PROJECT SCOPE.
4. FOR TYPICAL CONTROL JOINTS (CJ) SEE DETAIL 25A5.11.
5. CONTROL JOINTS IN CMU BACKUP TO BE OFFSET FROM CONTROL JOINTS IN MASONRY/STONE VENEER. CONTROL JOINTS AT CMU BACKUP MAXIMUM 25' SPACING.
6. PROVIDE CONTROL JOINTS AT INSIDE CORNERS OF BRICK AND STONE.



5 East  
1/8" = 1'-0"



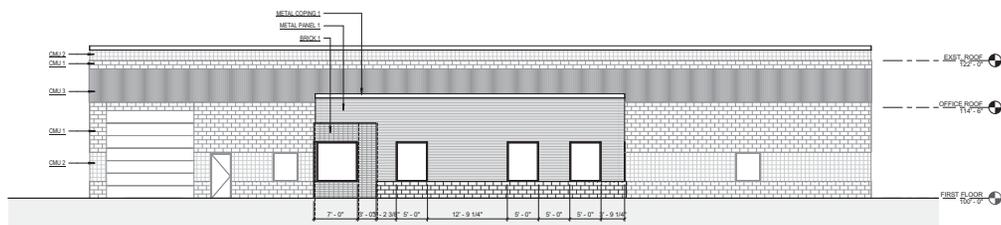
4 North  
1/8" = 1'-0"



2 West  
1/8" = 1'-0"



3 EXT-OFFICE PERSPECTIVE-01



1 South  
1/8" = 1'-0"

Revisions

MUNICIPAL APPROVALS

Drawing Date  
08.14.2016

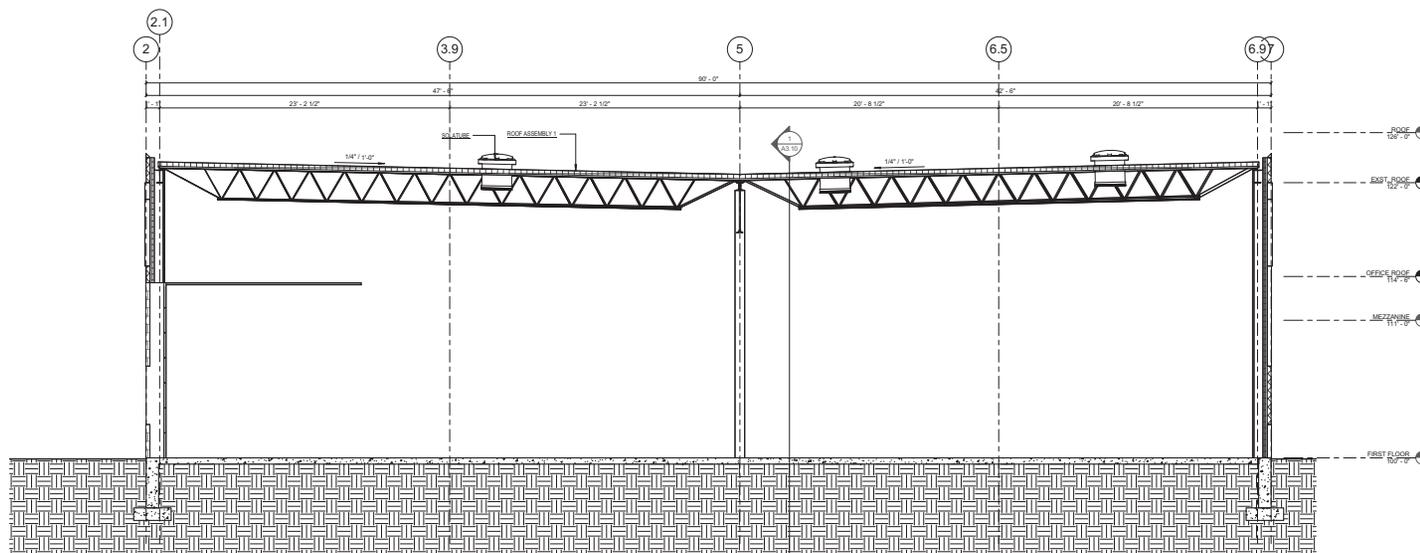
IDC - BACK PLANT  
EXPANSION

820 SWAN DRIVE  
MUKWONAGO, WI 53140  
Project No. 215003.00 INSTRUMENT  
DEVELOPMENT  
CORP.

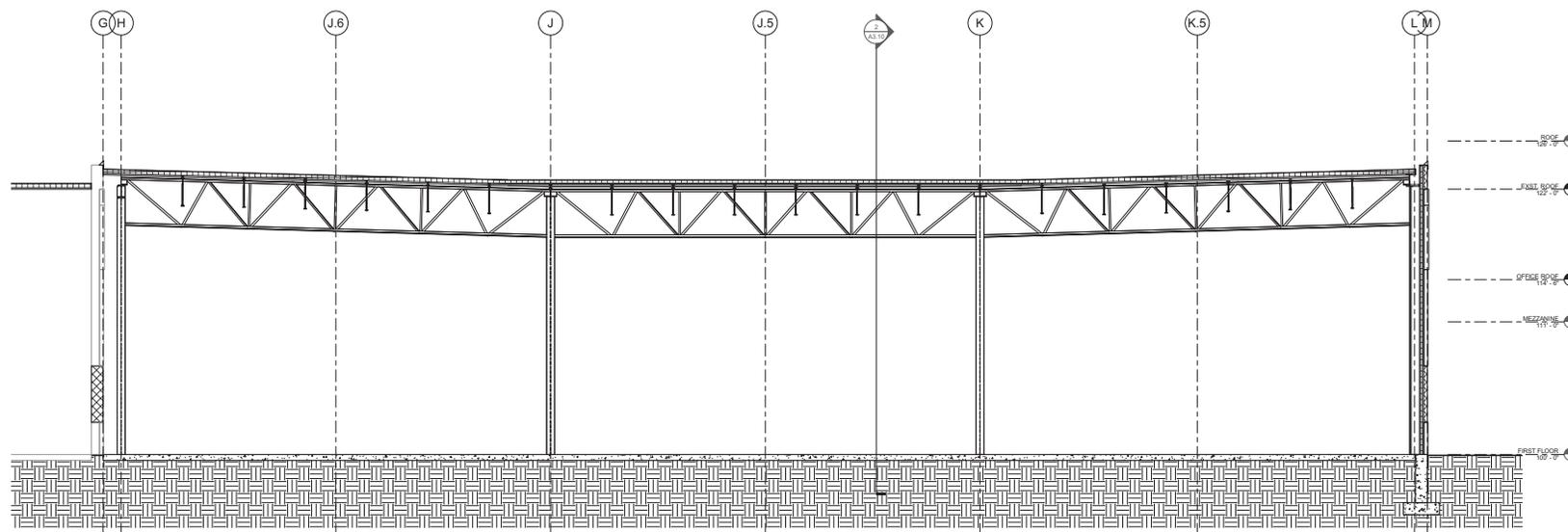
Sheet Title  
EXTERIOR  
ELEVATIONS

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9100 North 94th Street  
Brookfield, WI 53005

Sheet No.  
A2.10



2 EW - SHOP BUILDING SECTION  
1/4" = 1'-0"



1 NS - SHOP BUILDING SECTION  
1/4" = 1'-0"

Revisions

MUNICIPAL APPROVALS

Drawing Date  
08.14.2016

IDC - BACK PLANT  
EXPANSION

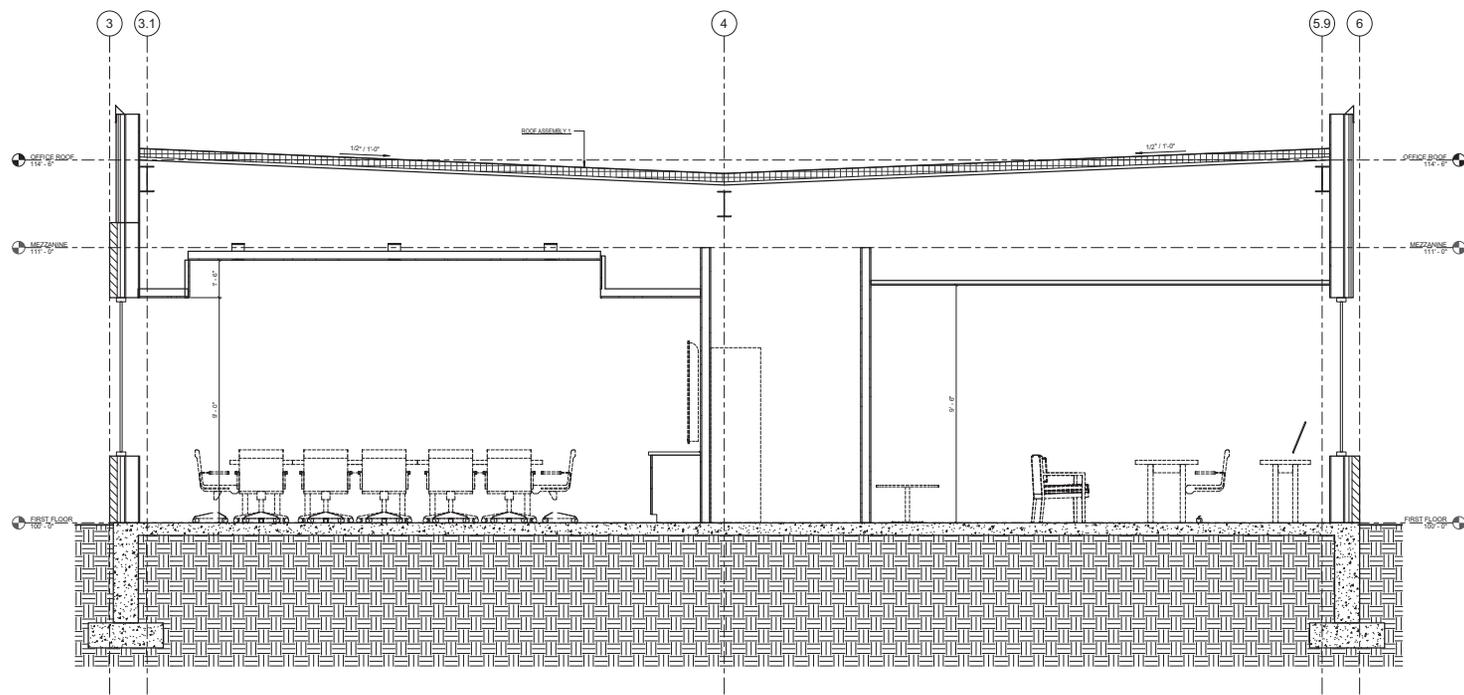
820 SWAN DRIVE  
MUKWONGAGO, WI 53140

Project No. 215003.00 INSTRUMENT  
DEVELOPMENT  
CORP.

Sheet Title  
BUILDING SECTIONS

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1910 North 94th Street  
Brookfield, WI 53005

Sheet No.  
A3.10



1 WALL SECTION - OFFICE @ BRICK1  
1/2" = 1'-0"

Revisions

MUNICIPAL APPROVALS

Drawing Date  
08.14.2016

IDC - BACK PLANT  
EXPANSION

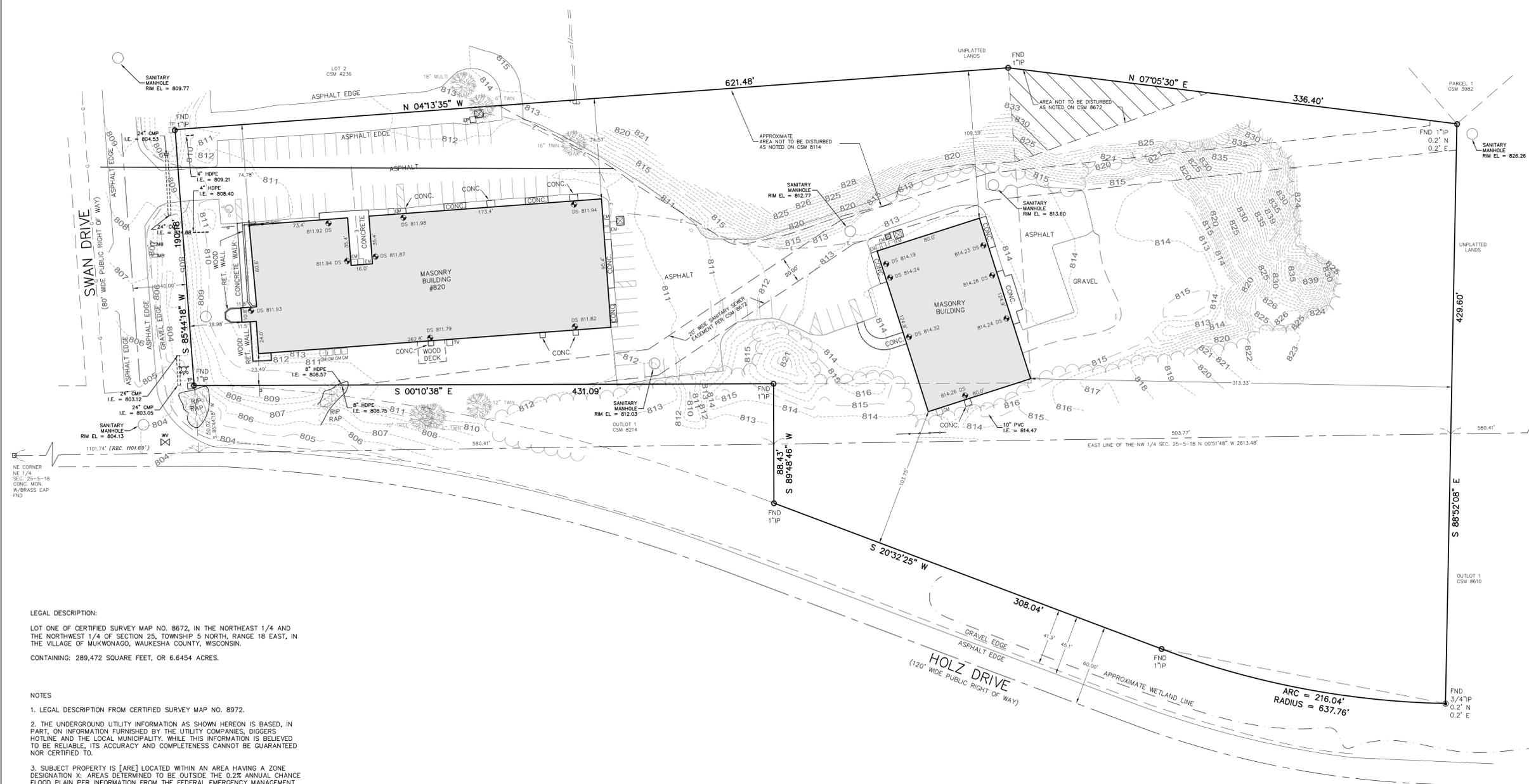
820 SWAN DRIVE  
MUKWONGAGO, WI 53140

Project No. 215003.00 INSTRUMENT  
DEVELOPMENT  
CORP.

Sheet Title  
BUILDING SECTIONS

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Brookfield, WI 53005

Sheet No.  
A3.11



NE CORNER  
 NE 1/4  
 SEC. 25-5-18  
 CONC. MON.  
 W/BRASS CAP  
 FND  
 PROJECT BENCHMARK  
 EL = 830.42

NORTH LINE OF THE NW 1/4 SEC. 25-5-18 S 88°48'10\"/>

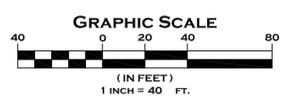
**LEGAL DESCRIPTION:**  
 LOT ONE OF CERTIFIED SURVEY MAP NO. 8672, IN THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 5 NORTH, RANGE 18 EAST, IN THE VILLAGE OF MUKWONAGO, WAUKESHA COUNTY, WISCONSIN.  
 CONTAINING: 289,472 SQUARE FEET, OR 6.6454 ACRES.

- NOTES**
- LEGAL DESCRIPTION FROM CERTIFIED SURVEY MAP NO. 8972.
  - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
  - SUBJECT PROPERTY IS [ARE] LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55133C0427G, WITH A DATE OF IDENTIFICATION OF NOVEMBER 5, 2014 IN COMMUNITY NO. 550485, THE VILLAGE OF MUKWONAGO WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
  - PROJECT BENCHMARK - CONCRETE MONUMENT WITH BRASS CAP FOUND AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SEC. 25-5-18, EL = 830.42.
  - ELEVATIONS BASED ON INFORMATION FROM SEWRPC AND ARE AT NGVD 1929 VERTICAL DATUM.

www.DiggersHotline.com

**DIGGERS HOTLINE**

DIAL 811 OR (800) 242-8511



I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.  
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

MAY 26, 2016  
 DATE

MICHAEL J. BERRY  
 REGISTERED LAND SURVEYOR S-2545



**PLAT OF SURVEY WITH TOPOGRAPHY**  
 FOR

**INSTRUMENT DEVELOPMENT CORPORATION**  
 820 SWAN DRIVE  
 MUKWONAGO, WI

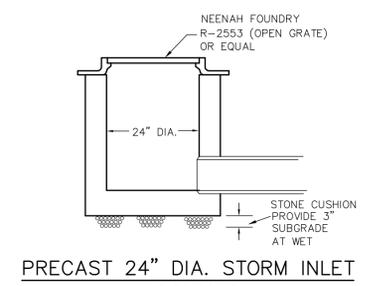
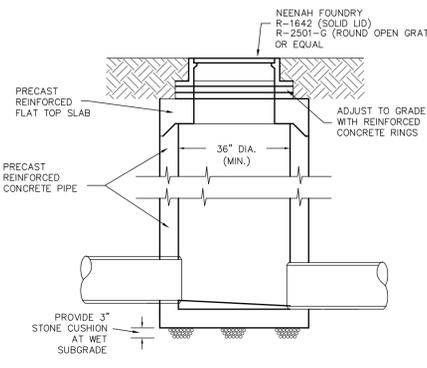
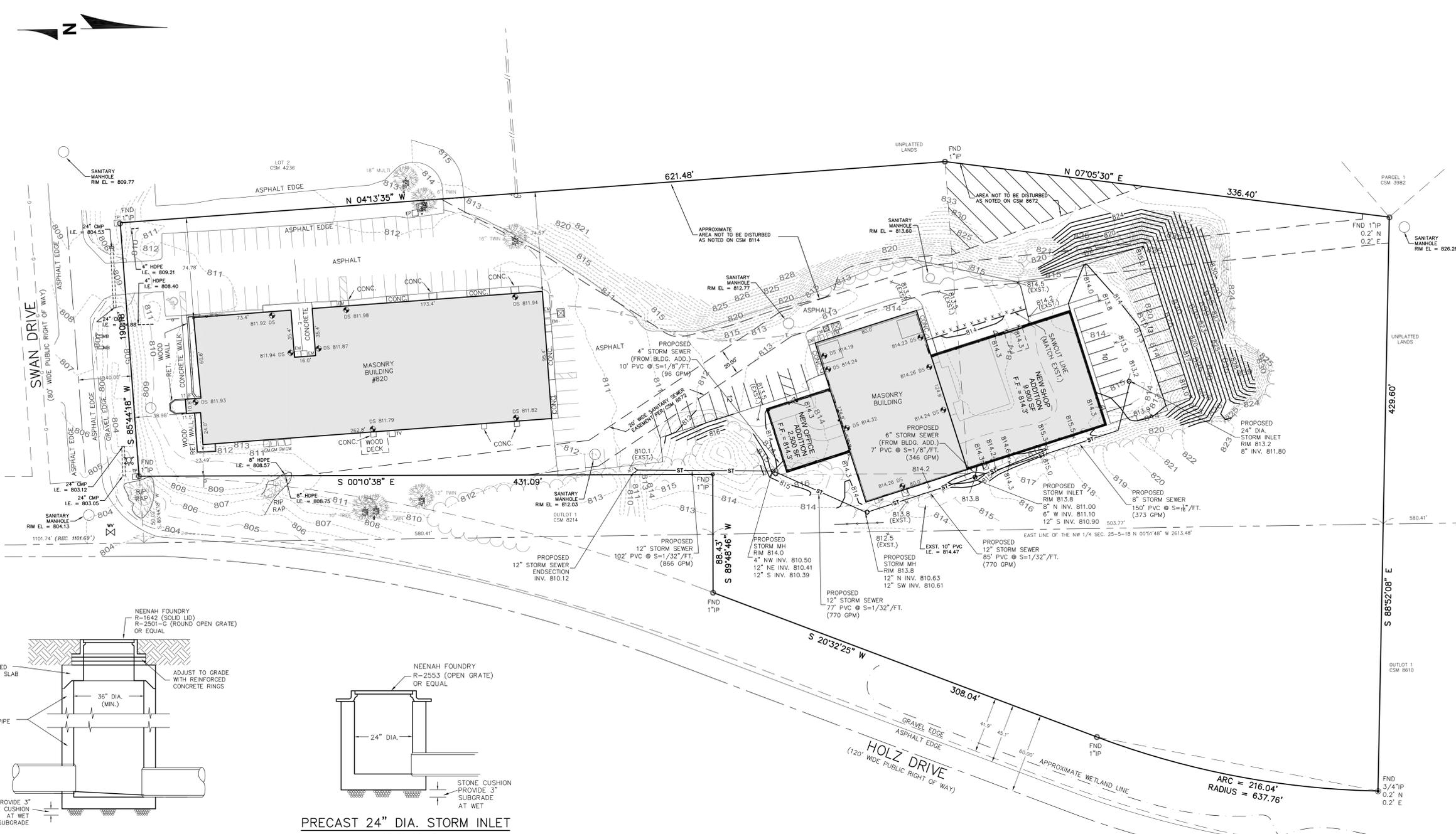
**LEGEND**

- SAN -	SANITARY SEWER	ET	ELECTRIC TRANSFORMER	HT	HYDRANT
- ST -	STORM SEWER	EM	ELECTRIC METER	AS	AUTO SPRINKLER
- W -	WATER MAIN	EP	ELECTRIC PEDESTAL	EV	ELECTRIC VALVE
- G -	BURIED GAS LINE	EB	ELECTRIC BOX AT GRADE	GV	GAS VALVE
- TEL -	BURIED TELEPHONE LINE	TE	TELEPHONE BOX AT GRADE	MP	MANHOLE
- E -	BURIED ELECTRIC LINE	TP	TELEPHONE PEDESTAL	GP	GAS METER
- FO -	BURIED FIBER OPTIC LINE	TV	TV PEDESTAL	AC	AIR CONDITIONER
-// -	OVERHEAD UTILITY LINES	UP	UTILITY POLE	MS	METAL SIGN
- CATV -	BURIED CABLE TELEVISION LINES	WS	WOOD SIGN	CL	CONCRETE LIGHT POLE
- COMB -	COMBINATION SEWER	MS	METAL SIGN	WL	WOOD LIGHT POLE
- WOOD FENCE -	WOOD FENCE	FP	FLAG POLE	YL	YARD LIGHT
- METAL FENCE -	METAL FENCE	B	BOLLARD	FC	FIRE DEPARTMENT CONNECTION
- EDGE OF TREES AND BRUSH -	EDGE OF TREES AND BRUSH	DB	DOOR SILL ELEVATION	MB	MAIL BOX
		914.24 DS		FO	FIBER OPTIC MARKER

<b>DRAWN BY:</b>	<b>NJF</b>	<b>DATE:</b>	<b>MAY 26, 2016</b>
<b>CHECKED BY:</b>	<b>MJB</b>	<b>DRAWING NO.:</b>	<b>P-0</b>
<b>CSE Job No.:</b>	<b>16-049</b>	<b>SHEET</b>	<b>1 OF 1</b>

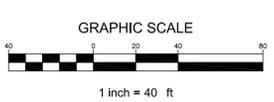
**INSTRUMENT DEVELOPMENT CORPORATION**

820 SWAN DRIVE MUKWONAGO, WI



LEGEND	
--- 96 ---	EXISTING CONTOUR
— 96 —	PROPOSED CONTOUR
x 96.5	PROPOSED ELEVATION
— ST —	PROPOSED STORM SEWER
x x x x x x x x x x	PROPOSED SAW CUT
□ □	PROPOSED SILT FENCE

- NOTES:**
- ALL STORM SEWER MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE VILLAGE OF MUKWONAGO REQUIREMENTS.
  - ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
  - SANITARY AND WATER SERVICE TO PROPOSED BUILDING ADDITIONS FROM THE EXISTING BUILDING. DESIGN BY PLUMBING CONSULTANT/CONTRACTOR.
  - DISTURBED AREA = 39,360 S.F. (0.90 ACRES)
  - IMPERVIOUS SURFACE AREA REMOVED = 7530 S.F.  
 IMPERVIOUS SURFACE AREA ADDED = 22,920 S.F.  
 NET INCREASE IN IMPERVIOUS SURFACE = 15,390 S.F. (0.35 ACRES)
  - BASED ON THE DISTURBED AREA AND NET INCREASE IN IMPERVIOUS AREA (NOTES 4 & 5 ABOVE) STORM WATER MANAGEMENT IS NOT REQUIRED FOR THIS DEVELOPMENT.



**SITE GRADING AND STORM SEWER PLAN C1.0**

CJE NO.: I615RI  
 JUNE 14, 2016





## Memorandum

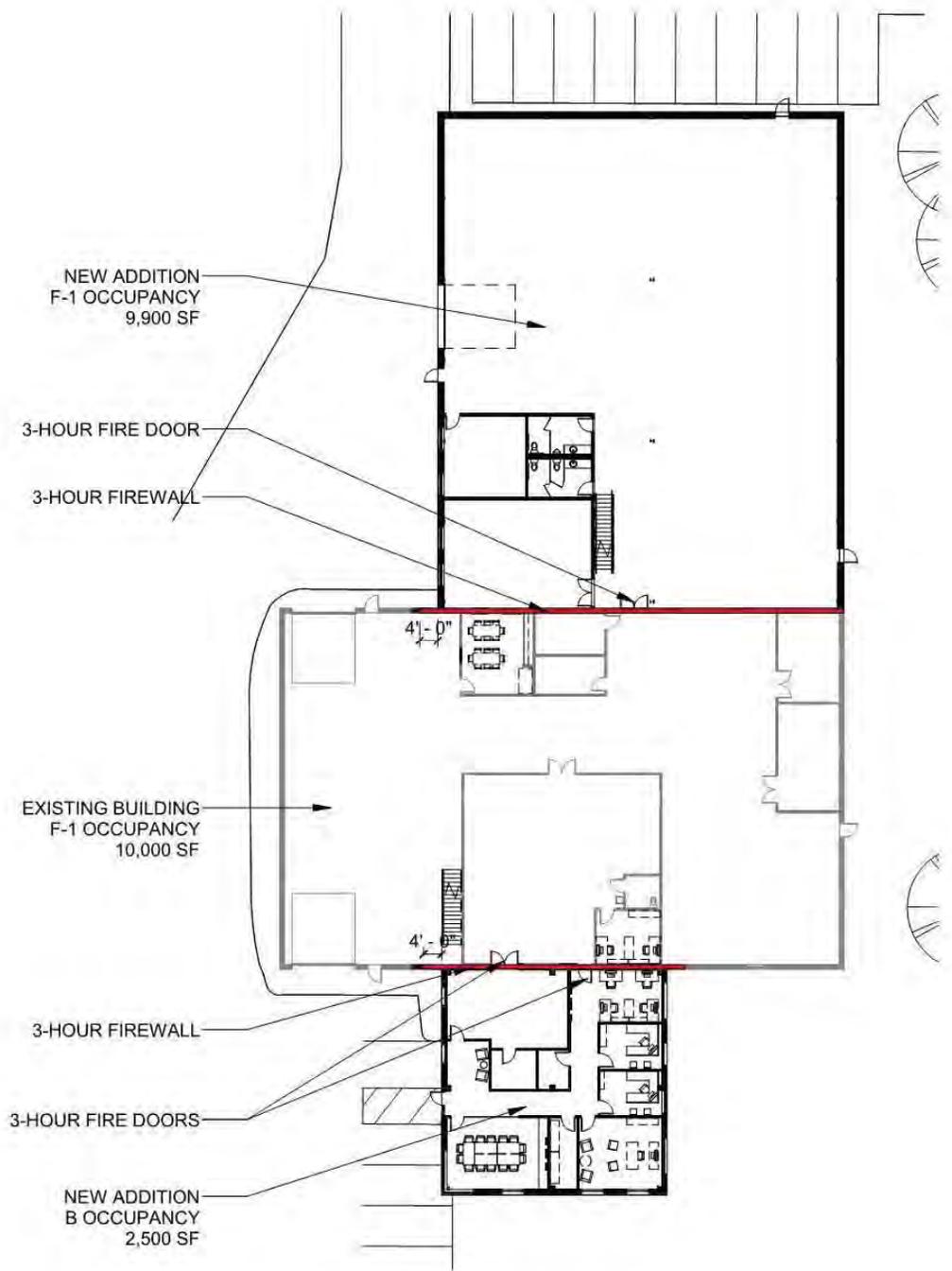
<b>Date</b>	08.11.2016	<b>Distribution</b>
<b>To</b>	Plan Commission	
<b>From</b>	Joe Sinnett, AIA	
<b>Project</b>	Instrument Development Corp New Additions	
<b>Project Number</b>	215003.00	
<b>Re</b>	Fire Suppression Requirements	

---

After further research into the amount of combustibile materials on the shop floor the building can be classified as F-1 Moderate Hazard Factory occupancy group and the summary below reflects that information. This is a change from the previously discussed F-2 occupancy group. For the new additions proposed at Instrument Development Corporation the following information will be used to comply with the State Building Code and Local Fire Ordinances. After further research into the amount of combustibile materials on the shop floor the building can be classified as F-1 Moderate Hazard Factory occupancy group and the summary below reflects that information.

Building Construction Type:	IIB
Occupancy Type:	F-1
Allowable Area:	15,500 SF (per table 503)
Allowable # of Stories:	2
Allowable Height:	55'-0"
Occupancy Separation:	Separated/Nonseparated Uses
Fully Sprinkled:	No
Maximum Fire Area:	12,000 SF (per 903.2.4)
Fire Area Separation:	3-Hour Fire Wall (per section 706)

See following page for diagram of fire areas.



Joseph A Sinnett, AIA

August 12, 2016

Fred Winchowky, Village President  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Site Plan and Architectural Plan Review/Edgewood Village Apartments

Dear President Winchowky and Members of the Plan Commission:

Warren Hansen, P.E., of WEH Properties/Edgewood Village, LLC submitted plans for 30 apartment units in five (5) buildings for site plan and architectural plan review. The property is owned by Citizen's Bank of Mukwonago.

The proposal is now ready for recommendation to the Village Board. Attached please find my July 5, 2016 report with extensive background about the proposal. This report will highlight how issues indicated in the July 5<sup>th</sup> report have been addressed.

**Status of Prior Issues**

Storm Water Management Plan: The Village Engineer has certified that the submitted Storm Water Management Plan meets the requirements to proceed toward finalizing the plans.

Site Plan for Turning Radii: A revised site plan has been submitted showing larger turning radii for fire apparatus into the site at the intersection of the boulevard drive with the drive and parking area for the apartments. However, turning radii will be verified during review of the final engineering plans.

Curb and Gutter: The plan shows full curb and gutter within the boulevard drive, but does not provide curb and gutter within the drive and parking areas providing access to the units (however the center landscaped area in front of each building will have curb and gutter). Since the number of guest parking spaces are less than 20 (the parking code threshold for curb and gutter) and sheet drainage on this site helps with storm water management, staff recommends that the applicant's plan remain as is.

Guest Parking: The site plan shows nine guest parking spaces that are not located in front of the enclosed garages. Both the Plan Commission and staff questioned the adequacy of the nine spaces to provide for guest parking needs of the 30 dwelling units. Staff prepared a plan showing additional guest parking spaces extending eastward from each the north and south ends of the pavement (from the dumpster enclosures). Staff and applicant agreed that a provision will be included in the Developer's Agreement that extra spaces will be added if an overload of guest parking spaces occurs.

Architecture: After a meeting with staff, the applicant submitted new exterior building elevations showing additional brick on portions of the side and rear elevations of the proposed buildings. The new plans will be presented to the Commission at the meeting. In addition, samples of building materials will be presented at the meeting.

### **Recommendation**

I recommend approval of the requested site plan and architectural plan. The proposal is consistent with R-10 development standards. I further recommend approval of the site and architectural plans subject to the following list of conditions.

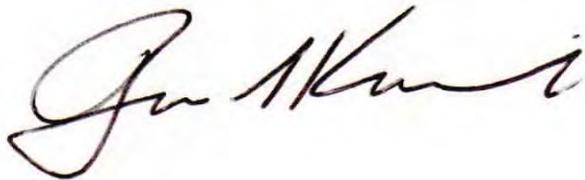
1. Approval of the plans for the proposed Edgewood Village development along the east side of Edgewood Avenue, zoned as R-10 Multi-Family District, for five-6 unit multi-family structures, shall be subject to the package of documents and plans submitted by the applicant to the Village of Mukwonago. The plans may be further modified to conform to other conditions of approval; the building and floor plans may be modified with the approval of the Building Inspector to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout of the site as depicted the site plan shall remain unchanged.
2. All ingress/egress drives and parking areas shown on the site plan shall remain private and shall be maintained in a usable and passable condition at all times.
3. Approval shall be subject to approval of a Storm Water Maintenance Agreement and a Developer's Agreement by the Village Board. The Developer's Agreement shall list these conditions of approval, a list of all final plans for the project, and responsibilities for off-site improvements. Furthermore, the Developer's Agreement shall provide for applicant installed stop sign exiting the site, the site plan, future guest parking if needed, extension of Village utilities within the Edgewood Avenue right-of-way, on-site easements for Village maintained utilities if needed, and other provisions for the protection of the public health, safety and welfare.
4. With approval, the Plan Commission and Village Board grant allowance of multiple principal buildings on one lot.
5. Prior to issuance of the first building permit, a final landscape plan, exterior site lighting plan and dumpster enclosure plan shall be submitted for the approval of the Zoning Administrator.
6. The property shall be maintained in a clean condition, free of debris at all times. No junk, inoperable or abandoned vehicles, or vehicles undergoing repair shall be kept on the property at any time. No vehicles shall be parked in any area not designated for vehicle parking as provided for on Sheet 5.
7. Only signs allowed by the Village Sign Code, and approved by either the Zoning Administrator or Plan Commission, shall be allowed on the property.
8. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the following shall occur:

- a. The Village Engineer shall approve all site engineering plans and documents, including a complete Storm Water Management Plan.
  - b. Village Board approval of a Storm Water Maintenance Agreement and a Developer's Agreement (to include a submitted and Village approved Letter of Credit for any off-site improvements) pursuant to Condition No. 3.
  - c. Submittal of the signed easements granted to the Village of Mukwonago providing access to maintain on-site sanitary sewer and potable water lines and hydrants.
  - d. All final site development plans shall be consistent with the plans noted in Condition No. 1 or as modified and identified in the Developer's Agreement.
  - e. Approval of the plans by the Fire Chief, which may include, but are not limited to, the internal fire suppression system, external fire department connection location and hydrant locations.
  - f. Approval of building plans by the Building Inspector after receipt of approval of building plans by the State of Wisconsin.
  - g. Approval of building plans shall include appropriate locations of the external mechanical equipment to be placed hidden from view from neighboring properties.
9. Prior to temporary occupancy issuance for any building, and if needed prior to final occupancy permit, the following shall occur:
- a. Completion of all site grading and storm water management facilities in accordance with approved plans, including landscaping that is a part of the storm water management facilities.
  - b. Completion of all exterior lighting for the building in accordance with approved plans.
  - c. Completion of the building in accordance with approved plans and all applicable codes.
  - d. Completion of a hard drive and parking surfaces from the exterior public right-of-way to the general area surrounding the building, including installation of handicapped parking signs and ramp.
  - e. Completion of the dumpster enclosures for the buildings so occupied.
10. Prior to final occupancy permit for any building, which shall be issued not later than 120 days after any temporary occupancy permit, the following shall occur:
- a. Completion of all items within Condition No. 9.
  - b. Completion of paving and striping of the entire parking area, in accordance with approved plans.
  - c. Installation of all site landscaping.
  - d. Completion of all required public improvements as specified in the Developer's Agreement.

- e. Completion of any other municipal code requirement in the interest of the health, safety and welfare of the public.

I appreciate the opportunity to assist the Village of Mukwonago with the review of this proposal. Should any questions arise, please feel free to contact me.

Sincerely,



Bruce S. Kaniewski, AICP  
Village Planner

Cc: John Weidl, Village Administrator (via email)  
Steve Braatz, Jr., Village Clerk (via email)  
Joe Hankovich, Supervisor of Inspections/Zoning Administrator (via email)  
Bob Harley, Codes Official (via email)  
Kurt Peot, P.E., Village Engineer (via email)  
Kevin Schmidt, Police Chief (via email)  
Jeff Stien, Fire Chief (via email)  
Dave Brown, Utilities Superintendent (via email)  
Ron Bittner, Public Works Director (via email)  
Mark Blum, Village Attorney (via email)  
Warren Hansen, P.E., Applicant (via email)  
Charlie Miller, Citizens Bank of Mukwonago (via email)

July 5, 2016

Fred Winchowky, Village President  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Site Plan and Architectural Plan Review/Edgewood Village Apartments

Dear President Winchowky and Members of the Plan Commission:

Warren Hansen, P.E., of WEH Properties/Edgewood Village, LLC submitted plans for 30 apartment units in five (5) buildings for site plan and architectural plan review. The property is owned by Citizen's Bank of Mukwonago.

Because the preliminary storm water management plan has not been certified by the Village Engineer as required by Village Code, the Plan Commission cannot take action. However, applicant and Village staff request Plan Commission comments that can be addressed with updated plans.

The proposed site is 4.44 net acres located on the east side of Edgewood Avenue, with the northern edge of the site about 160 feet south of CTH ES (Fox Street). The site is zoned R-10, Multi-Family Residential. The type of units proposed is a permitted use in R-10. Overall proposed density of 6.76 dwelling units per acre meets the standard of the current R-10 district.

The majority of the site is surrounded by lands within the Town of Vernon, but is contiguous along the southwest corner to the Fox River View Subdivision. To the east and south is vacant property owned by Craig Hein that once was occupied by the Edgewood Golf Course and Driving Range. About half of the south part of the Hein site is within Village corporate limits. Circa 2005 the Hein site was subject to a development proposal for a mixture of multi-family, two-family and single family dwellings. About the same time on the subject site, which was once occupied by a restaurant building of various names over the years, a proposal for multi-family units was submitted when the site was annexed to the Village and rezoned to R-10.

The subject site is now vacant except for remnants of the restaurant parking lot. The site slopes downward about 16 feet from northwest to southeast. On the next page please see a map of the area showing topography with the subject site highlighted in a light red color.



### **Proposed Building Design**

Each 2-story building will house six dwelling units with two lower units and four upper units. Each unit has individual access from the outside and individual access from an attached two-car garage (although two garages in each building are only one car wide but 32 feet deep).

The living area of the two-bedroom, two bath units average 1,287 square feet. The anticipated monthly rent ranges from \$1,150 to \$1,300.

The exterior elevation will be covered by a combination of cultured stone veneer and vinyl lap siding. I recommend adding 2-story stone veneer elements to the side and rear of the buildings to match the 2-story element proposed for the building front, because four-sided architecture is needed on this site.

### **Proposed Site Design**

The site will be accessed by a boulevard drive with 16+ foot lanes separated by a seven foot wide median. The boulevard private drive will be located in the middle of the Edgewood Avenue frontage. When previous and denser projects were proposed, staff requested access via a public street on the adjacent Hein property that aligned with Red Fox Run on the opposite side of Edgewood Avenue. Now with the less dense proposal, staff agrees with the ingress/egress point as shown. However, if a right-of-way is provided to the south, staff desires approval of this proposal require connection to the right-of-way for improved emergency access flow on the site. Likewise, if the 1.37 acre property to the north is annexed and redeveloped, a likely scenario is additional apartment buildings with access through the subject site.

Beyond the boulevard drive a north-side drive provides access to each building. All attached garages face inward. The Fire Department asks the applicant provide information to check and potentially revise the plan to ensure fire equipment can negotiate the turns on the interior of the boulevard drive.

The new parking standard (adopted December 2015) for multi-family is:

“One (1) garage space per dwelling unit plus 1.2 spaces per dwelling unit that may be garaged or outdoor spaces, although at least 0.2 spaces shall be outdoors to provide for guest parking. The Plan Commission may require additional parking pursuant to the design and type of multi-family dwellings.”

The proposed plan exceeds the amount of required garage and outdoor spaces. On the other hand, the proposed plan shows the installation of curb and gutter only within the boulevard drive. The parking standards require the following:

“All vehicle use areas with parking for 20 or more vehicles on a subject property, shall be constructed with full concrete and gutter surrounding the vehicle use areas (both driveways and parking areas); except the Plan Commission may waive the requirement of curb and gutter if an existing parking lot is expanded that does not have curb and gutter. Gaps in the curbing may occur to facilitate property parking lot drainage.”

While the plan shows 69 outside parking spaces, 60 of them are spaces in front of garage doors. Therefore, I ask the Plan Commission for direction on this matter. No curb and gutter assists better storm water management, while installation of curb and gutter presents a picture of a quality development. For your information, Premier Woods Phase 2 apartments were recently approved with curb and gutter completely surrounding the drive and guest parking spaces.

A very minimal landscape plan was submitted. A formal and more extensive landscape plan is needed commensurate with a quality development.

### **Other Comments**

Village Department Heads reviewed the proposal. In addition to comments within previous sections of this report, other comments are as follows:

1. A stop sign exiting the site is needed.
2. Public sewer and water lines must be extended within the Edgewood Avenue right-of-way equal to the site's north property line, according to long standing Village policy.
3. Fire hydrant locations must be reviewed prior to final approval of site engineering.
4. A pre-existing utility easement exists along the north property line, which we understand is an abandoned telephone easement. Staff desires a 30 foot wide utility easement for future extension of sewer and water to the east.
5. The location of the dumpsters should be reconsidered to allow easier access for pick-up and to locate the dumpsters away from the likely place for piling plowed snow.
6. An exterior lighting plan must be submitted.

### **Summary**

The proposal is not yet ready for approval pending a certification of the storm water management plan. In the meantime, staff requests Plan Commission feedback on the following points:

1. Adding 2-story stone veneer elements to the side and rear of the buildings to match the 2-story element proposed for the building front.
2. The adequacy of internal vehicle turning movements.
3. The requirement for full curb and gutter.
4. The relocation of dumpsters.
5. Any other comments Commissioner's may have.

I appreciate the opportunity to assist with the review of this proposal. Should questions arise, please feel free to contact me.

Sincerely,



Bruce S. Kaniewski, AICP

Cc: John Weidl, Village Administrator (via email)  
Steve Braatz, Jr., Village Clerk (via email)  
Joe Hankovich, Supervisor of Inspections/Zoning Administrator (via email)  
Bob Harley, Codes Official (via email)  
Kurt Peot, P.E., Village Engineer (via email)  
Kevin Schmidt, Police Chief (via email)  
Jeff Stien, Fire Chief (via email)  
Dave Brown, Utilities Superintendent (via email)  
Ron Bittner, Public Works Director (via email)  
Mark Blum, Village Attorney (via email)  
Warren Hansen, P.E., Applicant (via email)  
Charlie Miller, Citizens Bank of Mukwonago (via email)

Received 6/14/16 - BSK

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
www.villageofmukwonago.com

# VILLAGE OF MUKWONAGO

## SITE PLAN, ARCHITECTURAL, AND PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

Application Fee: Below

Date Submitted: 6/14/2016

### FEES

(Please check one)

- Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.
- Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.
- Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.
- Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit

### CONTACTS

#### Zoning Department

Contact: Joe Hankovich  
Phone: (262) 363-6419  
Fax: (262) 363-6425  
Email: jhankovich@villageofmukwonago.com

#### Planning Department

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: planner@villageofmukwonago.com

### GUIDELINES

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Site Plan/Architectural Plan/Planned Unit Development  
PO Box 206  
Mukwonago, WI 53149

Deliver to: Village Clerk's Office  
440 River Crest Court

Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

### APPLICANT (Full Legal Name)

Name: Warren E. Hansen, P.E.

Company: WEH Properties/Edgewood Village, LLC

Address: PO Box 437 City: Elkhorn State: WI Zip: 53121

Daytime Phone: 262-723-2098 Fax: 262-723-5886

E-Mail: office@farrishansen.com warrenhansen@farrishansen.com  
*office*

**APPLICANT IS REPRESENTED BY (Full Legal Name)**

---

Name: Warren E. Hansen, P.E.  
Company: Farris, Hansen & Associates, Inc.  
Address: PO Box 437 City: Elkhorn State: WI Zip: 53121  
Daytime Phone: 262-723-2098 Fax: 262-723-5886  
E-Mail: office@farrishansen.com

**ARCHITECT**

---

Name: Brian S. Staples  
Company: Farris, Hansen & Associates, Inc.  
Address: PO Box 437 City: Elkhorn State: WI Zip: 53121  
Daytime Phone: 262-723-2098 Fax: 262-723-5886  
E-Mail: office@farrishansen.com

**PROFESSIONAL ENGINEER**

---

Name: Warren E. Hansen, P.E.  
Company: Farris, Hansen & Associates, Inc.  
Address: PO Box 437 City: Elkhorn State: WI Zip: 53121  
Daytime Phone: 262-723-2098 Fax: 262-723-5886  
E-Mail: office@farrishansen.com

**REGISTERED SURVEYOR**

---

Name: Peter S. Gordon, PLS  
Company: Farris, Hansen & Associates, Inc.  
Address: PO Box 437 City: Elkhorn State: WI Zip: 53121  
Daytime Phone: 262-723-2098 Fax: 262-723-5886  
E-Mail: office@farrishansen.com

**CONTRACTOR**

---

Name: To Be Determined  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

## PROPERTY INFORMATION

---

Property Owner (s) (if different from applicant): WEH Properties  
Address: PO Box 437 City: Elkhorn State: WI Zip: 53121  
Daytime Phone: 262-723-2098 Fax: 262-723-5886  
E-Mail: office@farrishansen.com or warrenhansen@farrishansen.com  
Present Zoning: R-10 Tax Key No(s): MUKV2091998  
Location/Address: S92W27800 Edgewood Avenue  
Present Use: Vacant Intended Use: Mutiple-Family Residential

## PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL

---

Submittals for review must include and be accompanied by the following:

### Application:

- Completed application form including the procedural checklist.
- Application fee: See page 1.
- Agreement for Reimbursable Services (separate application).

### Other Documents:

- Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review.
- Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
- Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
- Any additional information as determined by Village staff.

- **Upon receipt of a complete submittal, staff review will be conducted within ten business days.**
- **All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.**

# CERTIFICATION

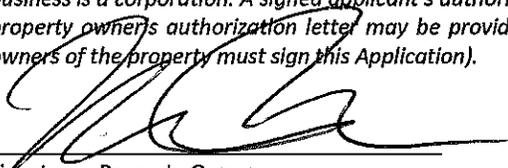
Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

  
 \_\_\_\_\_  
 Signature - Property Owner

Warren E. Hansen, P.E.  
 \_\_\_\_\_  
 Name & Title (PRINT)

6/14/2016  
 \_\_\_\_\_  
 Date

Same  
 \_\_\_\_\_  
 Signature - Property Owner

\_\_\_\_\_  
 Name & Title (PRINT)

\_\_\_\_\_  
 Date

Same  
 \_\_\_\_\_  
 Signature - Applicant

\_\_\_\_\_  
 Name & Title (PRINT)

\_\_\_\_\_  
 Date

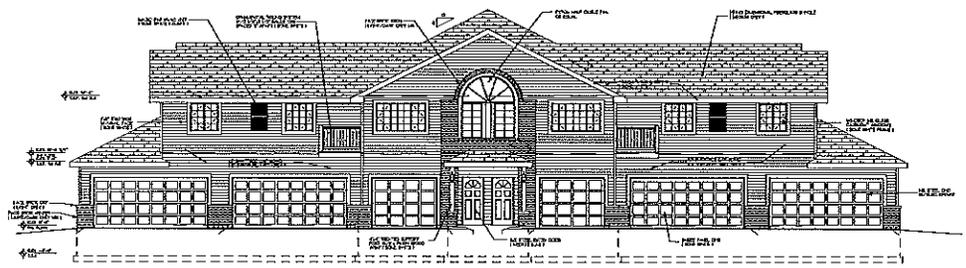
Same  
 \_\_\_\_\_  
 Signature – Applicant's Representative

\_\_\_\_\_  
 Name & Title (PRINT)

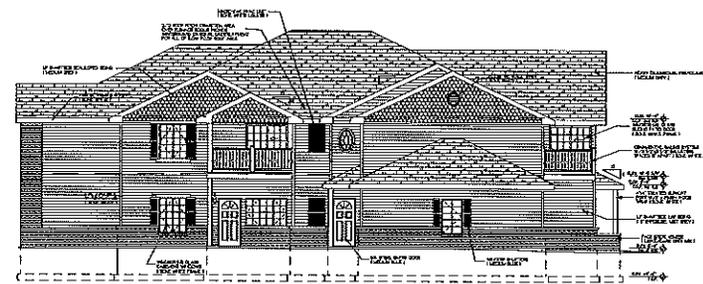
\_\_\_\_\_  
 Date

FOR OFFICE USE ONLY	
Date Paid 6-16-16      \$861.60	Receipt # 6961
Plan Commission Date(s)	Village Board Date(s)
Escrow Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Escrow Amount
Plan Commission Disposition	
Village Board Disposition	

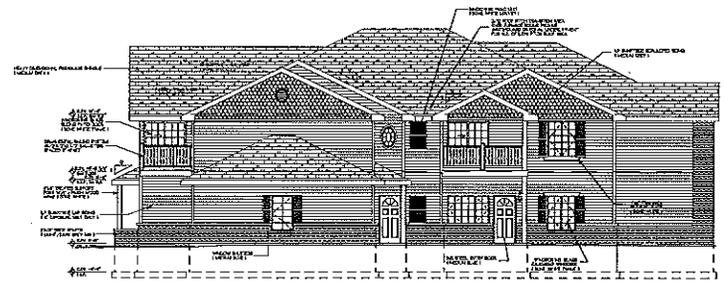




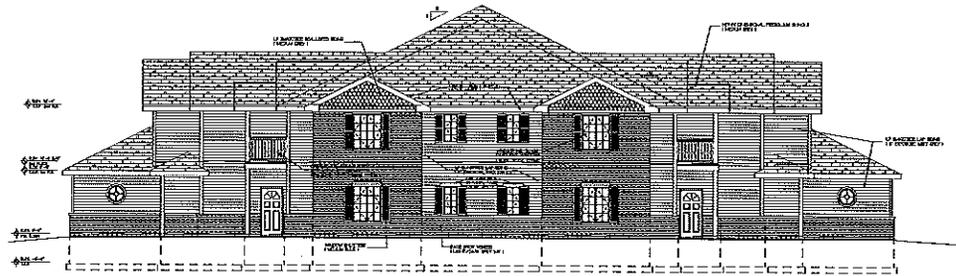
EAST ELEVATION



NORTH ELEVATION

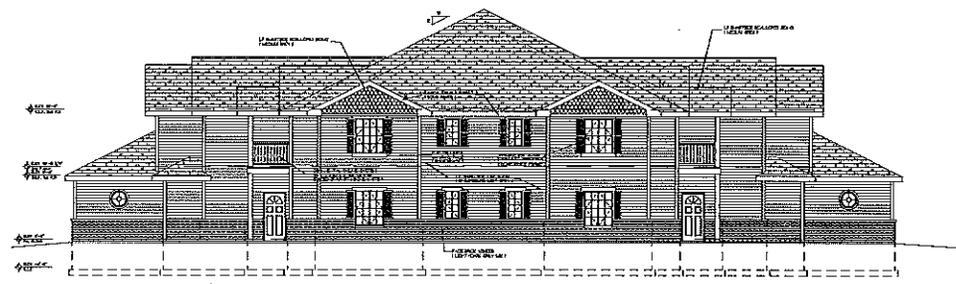


SOUTH ELEVATION



WEST ELEVATION

BUILDING #1 & #2



EAST ELEVATION

BUILDING #3, #4, & #5

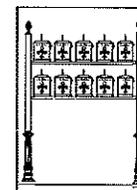
BUILDING SUMMARY

BUILDING HEIGHT MAX. = 32'-8"  
 UNIT AREAS  
 UNITS #101 & #102 = 1260 SF. LIVING AREA - GARAGE = 506 SF.  
 UNITS #201 & #202 = 1310 SF. LIVING AREA - GARAGE = 585 SF.  
 UNITS #203 & #204 = 1290 SF. LIVING AREA - GARAGE = 567 SF.  
 TOTAL BUILDING FOOTPRINT AREA = 6280 SF. INCLUDING ENTRY PORCHES



# EDGEWOOD VILLAGE APARTMENTS

LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWN 5 NORTH,  
RANGE 18 EAST, VILLAGE OF MUKRONAGO, WAUKESHA COUNTY, WISCONSIN



**ORNAMENTAL MAIL BOXES**  
50 MAIL BOXES PER BANK  
3 BANKS REQUIRED FOR TOTAL OF 150 MAIL BOXES  
(LOCATION AND LAYOUT TO BE APPROVED BY POSTMASTER)

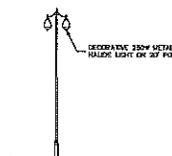
**LANDSCAPE KEY**

- AUTUMN GOLD GROUSE TREE (1)
- AUTUMN BLAZE MAPLE TREE (10)  
(2" CALIPER MIN.)
- ORNAMENTAL CRAB (8)
- ORNAMENTAL DWARF PALM (4)

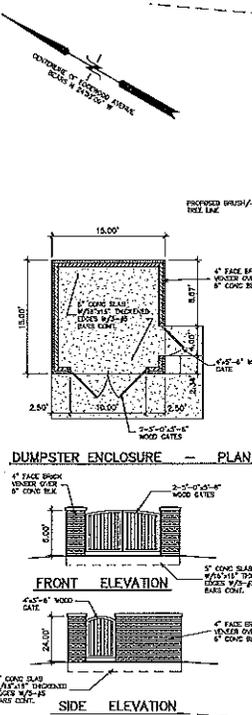
NOTE: ALL PLANTING BEDS AND FOUNDATION PLANTING AREAS SHALL HAVE WEED BARRIERS AND 1 1/2" RIVER STONE PLACED WITH EDGING AGAINST LAWN EDGES.



**WALKWAY LIGHTS**

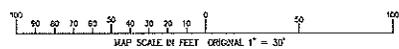


**BOULEVARD ENTRY LIGHTS**



- LEGEND**
- - 60# PPE STAKE FIELD
  - - 60# REAR STAKE FRAUD
  - - 60# REAR STAKE SET

NOTE: SEE SEPARATE PHOTOMETRICS PLAN FOR LIGHTING FIXTURE DETAILS WITH FINAL DESIGN.



EDGEWOOD  
VILLAGE APARTMENTS  
VILLAGE OF MUKRONAGO, WAUKESHA CO., WI

LANDSCAPING & LIGHTING PLAN

FARRIS, HANSEN & ASSOCIATES, INC.  
ENGINEERING - ARCHITECTURE - SURVEYING  
7 FIDELITY COURT  
MILWAUKEE, WISCONSIN 53212  
OFFICE: (414) 752-2075 FAX: (414) 752-2886

REVISED  
7/2/2016 - AS  
10/2/2016 - AS

PROJECT NO.  
0344  
DATE  
6/10/2016  
SHEET NO.  
4 OF 5

# EDGEWOOD VILLAGE APARTMENTS

LOCATED IN PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 16, TOWN 5 NORTH, RANGE 19 EAST, VILLAGE OF MUKWONGO, WAUKESHA COUNTY, WISCONSIN

PROPOSED BIOFILTRATION BASIN TO BE USED AS TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION

EROSION MATTING (NAG SC-150) TO BE INSTALLED ALONG SLOPES OF BASIN AND ANY OTHER SLOPES 3:1 OR GREATER

PROVIDE TEMPORARY SILT FENCE

PROVIDE INLET PROTECTION (TYP.)

PROVIDE 12'x50' TEMPORARY CONSTRUCTION ENTRANCE (3" STONE, 12" DEPTH)

## PROPOSED SLOPE CONTROL - SUMMARY

JULY 2016  
EDGEWOOD VILLAGE APARTMENTS  
1400 WOOD AVENUE  
VILLAGE OF MUKWONGO,  
WAUKESHA COUNTY, WISCONSIN

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF APPROXIMATELY 3400 SQ. FT. OF APARTMENTS, 11 BUILDINGS, PROPOSED PARKING AREAS, STORM SEWER SYSTEM, A BIOPROTECTION BASIN, AND ASSOCIATED SITE WORK.

IT IS ANTICIPATED THAT WORK WILL START EARLY IN 2016 AND EXTEND THROUGH THE FALL. THE FOLLOWING SCHEDULE IS AN ESTIMATE OF APPROXIMATELY FOLLOW THE DATES LISTED BELOW.

- APRIL 5, 2016: HOLD PRE-CONSTRUCTION MEETING
- APRIL 9, 2016: UTILITIES FIELD SURVEY, CENTER LINE, STAKE OUT, CONSTRUCTION OF SLOPE CONTROL, AND TEMPORARY SEDIMENT BASINS AND READY TO MASS GRADE THE SITE. BUILDING FOOTINGS FOR BUILDINGS #1 TO #5 TO BE CONSTRUCTED AND TEMPORARILY STABILIZED FOR FUTURE DEVELOPMENT.
- APRIL 11, 2016: BEGIN FOUNDATION WORK FOR BUILDINGS #1 & #2.
- MAY 1, 2016: STAKE ALL PROPERTY AREAS AND READY TO SELECT SLOPE CONTROL.
- APRIL 11, 2016: HOLD ALL GRASSLANDS AND AREAS.
- SEPTEMBER 1, 2016: SLOPE AND STAKE SITE EXCEPT AROUND THE BIOPROTECTION BASIN.
- NOVEMBER 1, 2016: CLEANUP, REMOVE EXCESS MATERIAL AND INSTALL SLOPE CONTROL MATERIALS AND READY TO REMOVE OF BASIN WITH SLOPE CONTROL MATERIALS ALONG THE SLOPE.

TOTAL SITE AREA: 140,000 SQ. FT.  
LAND DISTURBANCE: 110,000 SQ. FT.  
WOODLAND AREA DISTURBANCE: 2,000 SQ. FT.  
WETLAND AREA DISTURBANCE: 0 SQ. FT.

THE FOLLOWING SLOPE CONTROL MEASURES WILL BE USED ON-SITE DURING THE CONSTRUCTION PERIOD:

1. SLOPE CONTROL MEASURES SHALL BE INSTALLED ALONG THE PERIMETER OF THE SITE.
2. SLOPE CONTROL MEASURES SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROPOSED BIOPROTECTION BASIN. IF ANY SLOPE IS FOUND TO BE UNSTABLE WITHIN THE BIOPROTECTION BASIN, IT SHALL BE REWORKED AND THE SLOPE SHALL BE REWORKED TO PROPOSED SLOPE CONTROL MEASURES.
3. TEMPORARY SEDIMENT BASIN WILL BE CONSTRUCTED WITHIN THE FOOTPRINT OF THE PROPOSED BIOPROTECTION BASIN. IT SHALL BE REWORKED AND THE SLOPE SHALL BE REWORKED TO PROPOSED SLOPE CONTROL MEASURES.
4. INSTALL SLOPE CONTROL MATERIALS AS APPLICABLE.
5. REWORK AND REWORK PERIOD OF SLOPE CONTROL WILL TAKE PLACE WITHIN 14 CALENDAR DAYS AFTER WORK HAS CEASED.
6. SLOPE CONTROL MATERIALS SHALL BE INSTALLED ALONG THE PERIMETER OF THE BIOPROTECTION BASIN AND ALONG ANY OTHER SLOPES 3:1 OR GREATER AS THEY ARE EXPOSED TO EROSION.



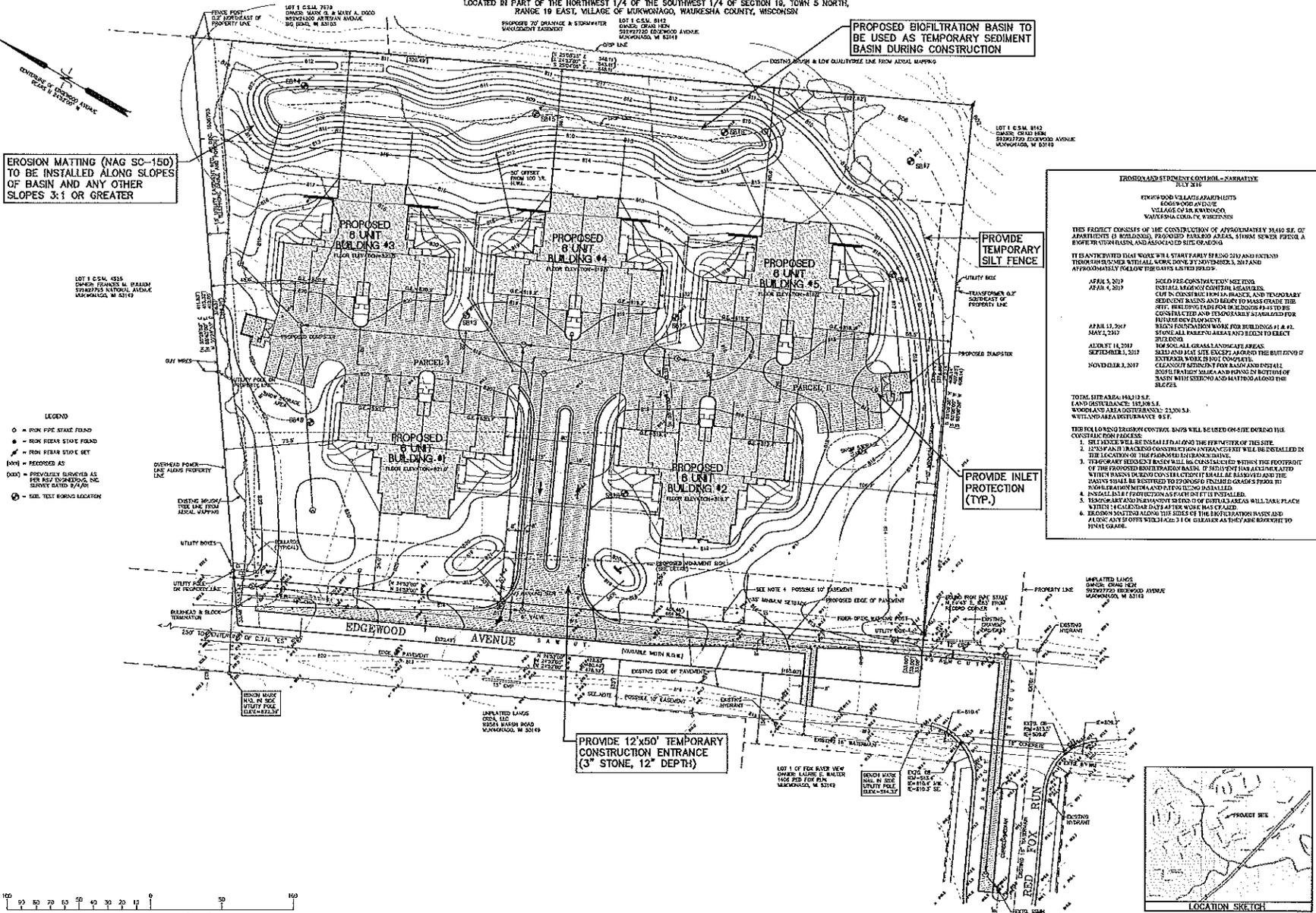
EDGEWOOD VILLAGE APARTMENTS  
VILLAGE OF MUKWONGO, WAUKESHA CO., WI

PRELIMINARY EROSION CONTROL PLAN

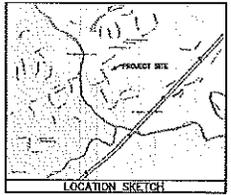
FARRIS, HANSEN & ASSOCIATES, INC.  
ENGINEERING - ARCHITECTURE - SURVEYING  
7 FIDELITY COURT  
EARTHEN, WISCONSIN 53121  
OFFICE: (262) 732-5504 FAX: (262) 732-8006

REVISIONS

PROJECT NO. 9344  
DATE 07/22/2016  
SHEET NO. 5 OF 5



- LEGEND
- - FROM PPE STAKE FOUND
  - - FROM REBAR STAKE FOUND
  - ▲ - FROM REBAR STAKE SET
  - (XXX) - RECORDED AS
  - (XXX) - PREVIOUSLY SURVEYED AS PER REBAR CONTRACTING, INC. SURVEY DATED 8/1/00
  - ⊙ - SEE TEXT FOR LOCATION



**DATE:** August 12, 2016  
**TO:** Village President Fred Winchowky and Plan Commission Members  
**FROM:** Bruce Kaniewski, Village Planner/Zoning Administrator  
**RE:** DAA Smokehouse/Request for Conditional Use

Tina Marie O'Bryan of DAA Smokehouse is requesting a Conditional Use for outdoor seating. The restaurant, located within Unit D/E of the Chelsea Lynn Shopping Center along Bay View Road is preparing for their grand opening. Under the B-2, General Business Zoning District of the site, outdoor display and sales require a Conditional use.

Within the center portion of the shopping center there is a substantial area between the building and the parking lot. The proposed seating area for 30 people is next to a landscaped area eight feet from the building and about 10 feet from the edge of the parking lot. The proposed plan shows one opening with a fence system similar to the recent approval for Pam/s Fine Wines.

### **Recommendation**

Pending the outcome of the public hearing, and pursuant to comments of the public and the information presented by the applicant, if the Commission feels the public health, safety and welfare will be protected (the basic standard for granting of a conditional use), then I encourage the Commission to recommend approval of the conditional use to the Village Board. The proposal supports a healthy business area and the location of the outdoor seating does not impede access to other businesses.

Suggested findings in support of the proposal and terms of approval are listed below.

### **Findings:**

1. The proposed use is in accordance with the purpose and intent of the B-2, General Business Zoning District.
2. The proposed use is found not to be hazardous, harmful, offensive or adverse to the environment or value of the shopping and the Village of Mukwonago.
3. The proposed use does not change the character of the neighborhood.

### **Terms of Approval:**

1. The outdoor seating area shall be provided and operated in strict conformance with the petitioner's public hearing presentation, the information submitted on the Request for a Conditional Use Application and the submitted plans.
2. The Conditional Use is granted solely to Tina Marie O'Bryan, and is not transferrable. Nothing in this conditional use shall prohibit another owner to petition the Village for a new conditional use should a change in ownership occur.

3. Use of the outdoor seating and serving of alcohol via the Conditional Use is conditioned upon applicant maintaining a valid liquor license from the Village of Mukwonago for outdoor service.
4. Use of the outdoor seating and serving of alcohol via the Conditional Use is limited between April 1<sup>st</sup> and November 15<sup>th</sup> of each year.
5. The Conditional Use shall be renewed by the Plan Commission and the Village Board within one (1) year of approval, with a second one (1) year renewal, and then subsequent five (5) year renewals. Renewal of the conditional use shall be granted if the use of the property is found to be operation in accordance with terms of approval of this conditional use. Findings of nonconformance shall be grounds for termination of this conditional use.
6. Use of the outdoor seating and serving of alcohol via the Conditional Use shall at all times conform to building codes, fire safety codes and health codes. The use shall be subject to periodic inspections by the Mukwonago Police Department and Village of Mukwonago Building Inspection and/or Zoning Administrator staff.
7. The use of outdoor seating and serving of alcohol shall at all times conform to federal, state and local laws.

I appreciate the opportunity to assist the Village with this matter. Should any questions arise, please feel free to contact me.

Cc: John Weidl, Village Administrator (via email)  
Steve Braatz, Village Clerk (via email)  
Bob Harley, Supervisor of Inspections (via email)  
Mark Blum, Village Attorney (via email)  
Jeff Stien, Fire Chief (via email)  
Kevin Schmidt, Police Chief (via email)  
Tina Marie O'Bryan, Applicant (via email)

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
www.villageofmukwonago.com

**VILLAGE OF MUKWONAGO**  
**CONDITIONAL USE PERMIT APPLICATION**  
**Application Fee: \$450**

Date Submitted: 7-12-16

**CONTACTS**

---

**Zoning Department**

Contact: Joe Hankovich  
Phone: (262) 363-6419  
Fax: (262) 363-6425  
Email: jhankovich@villageofmukwonago.com

**Planning Department**

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: planner@villageofmukwonago.com

**GUIDELINES**

---

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago.

Conditional use applications require a public hearing. To ensure the public hearing will be properly advertised, the application must be submitted **at least 30 days prior to the meeting** in which the Plan Commission will hold the public hearing. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed on page 3 must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100-354 and other pertinent sections of Village ordinances, WI Stats. 62.23, and as necessary to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Conditional Use Permits  
PO Box 206  
Mukwonago, WI 53149  
Deliver to: Village Clerk's Office  
440 River Crest Court  
Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

**APPLICANT (Full Legal Name)**

---

Name: Tina Marie O'Bryan  
Company: DAA Smokehouse LLC - DBA David Alan Alan's Smokehouse & Saloon  
Address: 325 Bay View Rd, DJE City: Mukwonago State: WI Zip: 53149  
Daytime Phone: 414-588-7169 Fax: \_\_\_\_\_  
E-Mail: daasmokehouse@daasmokehouse.com

**APPLICANT IS REPRESENTED BY (Full Legal Name)**

---

Name: N/A  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**ARCHITECT**

---

Name: N/A  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**PROFESSIONAL ENGINEER**

---

Name: N/A  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**REGISTERED SURVEYOR**

---

Name: N/A  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**CONTRACTOR**

---

Name: N/A  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**PROPERTY AND PROJECT INFORMATION**

Present Zoning: B-2 Tax Key No(s): MUKV2009956005

Address/Location: 325 Bay View Rd, Suite D/E Mukwonago, WI 53149

A. I/We request a conditional use permit for:

Patio area in front of the dining room of the restaurant. we would like to have a fenced in area where guests can dine outside during the warmer months.

B. The property is presently used as:

Restaurant, full service restaurant, serving food and alcohol.

C. Name of Architect, Professional Engineer, or Contractor: N/A

D. Project Timetable: Start Date: 08/16/16 Completion Date: 08/19/16

E. All of the Proposed Use(s) of the property will be:

Principal Use additional dining space for our guests. full service on patio, including food and alcohol.

Secondary Use \_\_\_\_\_

Accessory Use \_\_\_\_\_

F. I/We represent that I/we have a vested interest in this property in the following manner:

Owner

Leasehold. Length of Lease: 5 year lease, with option to renew for another 5 yrs.

Contractual. Nature of contract: \_\_\_\_\_

Other. Please explain \_\_\_\_\_

## PROCEDURAL CHECKLIST FOR CONDITIONAL USE REVIEW AND APPROVAL

This form is designed to be a guide for submitting a complete application for a conditional use.

### Application Submittal Packet Requirements for Village and Applicant Use (Check off List)

#### Application:

- Completed application form including the procedural checklist and justification of the proposed conditional use.
- Application fee: \$450
- Agreement for Reimbursable Services (separate application)

#### Required site drawings:

- Survey of the property
- Landscape plan
- Parking plan (including parking computations)
- Lighting plan (including photo metrics)
- Proposed location and connection to the sanitary sewer and water mains
- Drainage plan (if applicable)
- All building elevations
- Floor plans

#### Other Documents:

- Plan of operation/proposal
- Overview of the adjoining lots (including list of parcel identification numbers and names and mailing addresses of the current owners for all properties within 300 feet of the subject property)
- Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
- Any additional information as determined by Village staff

## JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

The Plan Commission and Village Board of the Village of Mukwonago will base their decisions on the category standards listed below. It is in the best interest of the applicant to base their presentation on the same applicable set of standards when presenting their petition. **Applicant: Please fill out ALL of the questions. Use additional sheets of paper if needed.**

- A. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

We believe that adding a patio during the warmer months to a restaurant makes it a more appealing dining option.

- B. How is the proposed conditional use, in its specific location, in harmony with the proposed, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

We are hoping to attract more guests to the Strip Mall by offering a great outdoor dining area. We are hoping an outdoor area will draw more attention to the Strip Mall as a whole. And in turn this will increase interest and sales for the entire Strip Mall.

- C. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 100-354 (a), (b), and (c)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development?

We can not foresee any negative affects of having a patio at this location, at this time. The patio will be 110 feet from the curb, so it will not affect vehiclae traffic. The patio will be 8 ft from the front of the building, so we will not interfere with strip mall foot traffic. There is a neighborhood behind our building, but the patio will be in the front. so we shouldn't bother them.

- D. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

This location has always been a restaurant. we believe adding a patio area in the front will only make the building more attractive.

- E. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

This patio will not require any extra services by public agencies. Our patio, including fence, could be moved temporarily if needed by the village. maintenance of the tables, chairs, and ~~fence~~ fence will be our sole responsibility. we will maintain a clean and well groomed patio area.

- F. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Sections 100-354 (e)(1) and (2)), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

We can not see any potential adverse impact on the community. we see benefits of increased sales, a more attractive strip mall, and a nice dining space for the community.

**CERTIFICATION**

Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

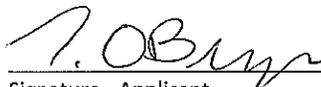
By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

\_\_\_\_\_  
Signature - Property Owner

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature - Applicant

Tina O'Bryan - owner  
\_\_\_\_\_  
Name & Title (PRINT)

7-12-16  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature - Property Owner

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature – Applicant's Representative

\_\_\_\_\_  
Name & Title (PRINT)

\_\_\_\_\_  
Date

FOR OFFICE USE ONLY			
Date Paid <u>7/12/16</u>	Receipt # <u>7331.765</u>	Date(s) Notice Published	Date Notices Mailed
Public Hearing Date	Plan Commission Date(s)	Village Board Date(s)	Resolution Number
Escrow Required? <input type="checkbox"/> Yes <input type="checkbox"/> No		Escrow Amount	
Plan Commission Disposition			
Village Board Disposition			



## **SMOKEHOUSE & SALOON**

325 Bay View Road, Mukwonago, WI 53149 (262)363-3227  
[daasmokehouse@daasmokehouse.com](mailto:daasmokehouse@daasmokehouse.com)

### **Patio - Plan of Operations**

#### **Summary**

We would like to extend our service of food and beverage from the dining room to a designated patio area. We would like to offer a dining choice to guests during the warmer months. We would like the patio to be a full service extension of our dining room, meaning it will be staffed with wait staff to take guests orders and deliver food and beverages to our guests.

#### **Facilities**

The patio will be located in front of the dining room of the restaurant. It will have 6 tables, seating about 30 guests. It does not block our main entrance. The patio will have a fence around it to help ensure that alcohol does not leave the premise. The fence for the patio starts 8 feet away from our building, because we do not want to block foot traffic in the strip mall. The fence is located 16 feet from the curb, so we should not impact vehicle traffic in any way. The fence will have a 42 inch entrance in line with our patio door from the dining room. The entrance will have a wood door on it that is 36 inches high. The fence will be secured with 9 wine barrels filled with sand. The fence will consist of 2 identical 10 inch pieces of wood running horizontally between each of the barrels. The barrels are 36 inches high. The fence will be 33 inches high. The tables on the patio will be 30 inches high. The fence can be taken down in the winter months if needed.

#### **Hours of Operation**

We are serving lunch and dinner daily, with brunch on the weekends. Our kitchen hours will be: Monday – Thursday 11am – 11pm, Friday 11am – midnight, Saturday 9am – midnight, Sunday 9am – 10pm. With possible extended bar hours. I do not foresee much, if any, use of the patio after dark.

#### **Permission of Landlord**

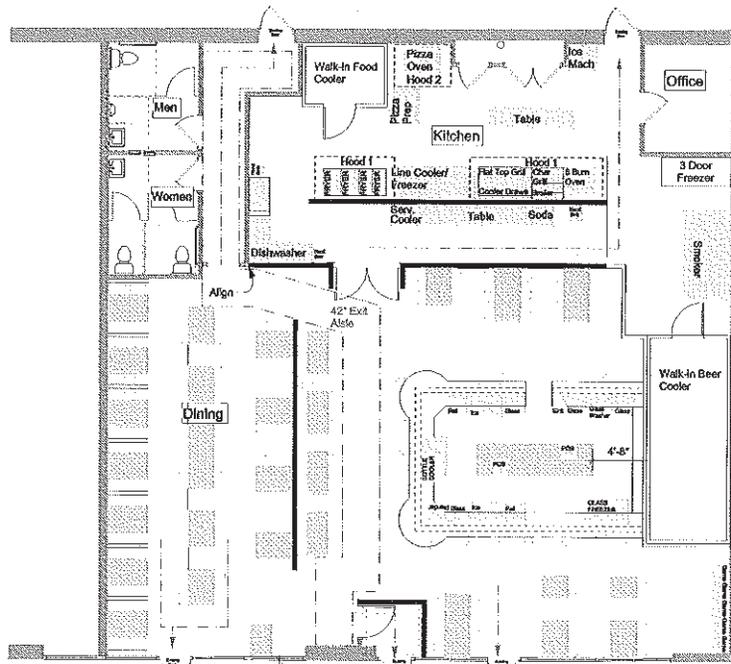
We have our landlord's permission to use this common space in front of our store. When this location was Halftime Sports Grille they had a patio out there. For that reason our landlord gave us written permission in our lease.

#### **Proximity to Residential Houses**

The patio area will be in the front of the building. There is a neighborhood behind the building. Their lots start 150 feet away from the back of the building. There are 10 residential lots within 300 feet of the strip mall. But, given the distance and the fact that the patio is in the front of the building we can't foresee the patio disturbing them in anyway.

#### **Systems & Controls**

We plan to treat this as an extension of our dining room. We will staff it like another section of the restaurant. Guests will get the same great service. We will pay close attention to this area to ensure that alcohol does not leave this area. We also plan to put a camera on the outside area as well.



**Floor Plan Key**

- Existing wall
- Existing storefront system
- New wall - 3-5/8" mtl studs w/ 5/8" Gyp bd on side
- Furred wall applied to cooler walls - 1-5/8" mtl furring w/ 5/8" Gyp bd
- Exit path
- Existing Door to remain
- New door 3'-0" x 7'-0"
- Furniture supplied by Owner
- Table Equipment supplied by Owner
- Hood 1 Kitchen exhaust hood
- Patio Decorative Fence

**Seating Capacity**

Seating = 30  
 Bar Seating = 10  
 Booth Seating = 10  
 Total Seating = 50

Michael Garber  
 Architecture LLC  
 855 East Brick Avenue  
 Menasha, WI 53217  
 tel 414 748 3720  
 email: mgarber@gbarr.com

PROJECT  
 DAA  
 SMOKEHOUSE  
 325 Bay View Rd.  
 Suite 074  
 Mukwonago, WI  
 53149

OWNER  
 DAA SMOKEHOUSE  
 LLC  
 325 Bay View Rd.  
 Suite 074  
 Mukwonago, WI 53149  
 (262) 363-3227  
 daasmokehouse@daasmokehouse.com

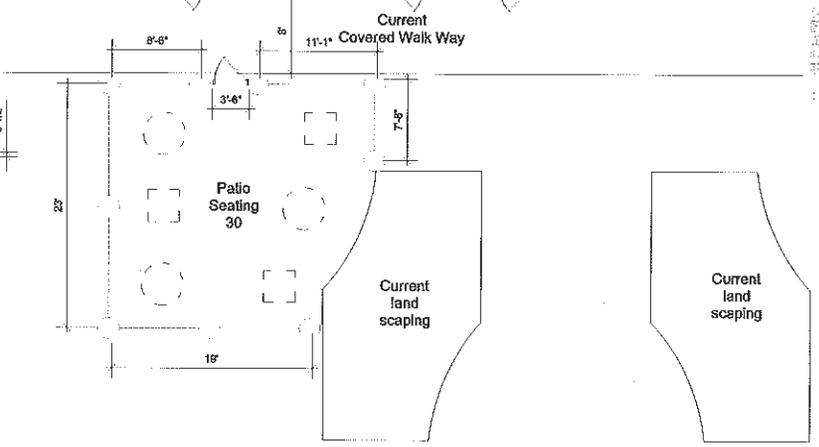
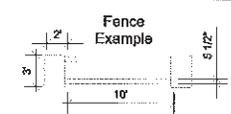
DATE  
 2/15/2016

PROJECT NUMBER  
 112016

SHEET

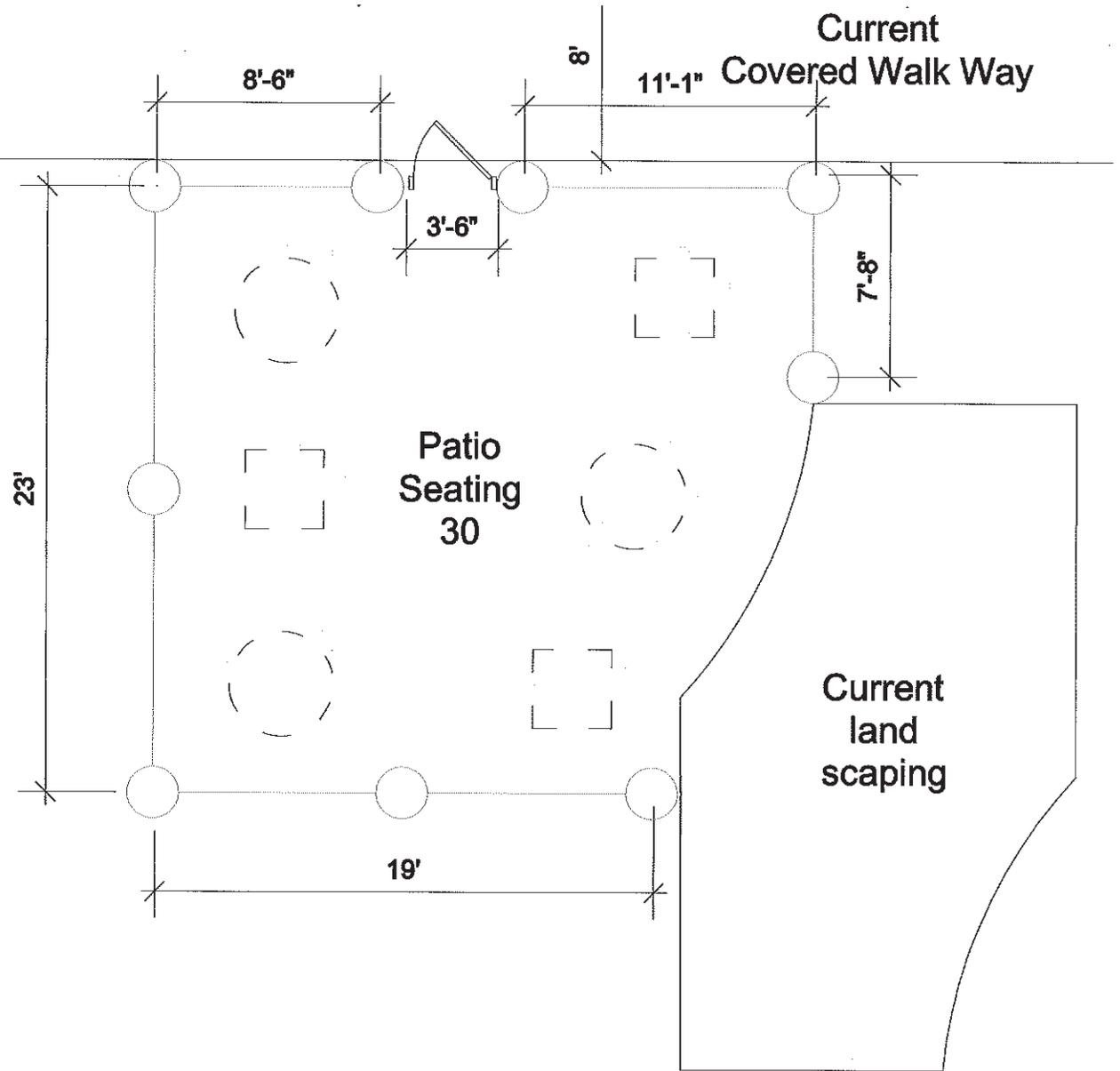
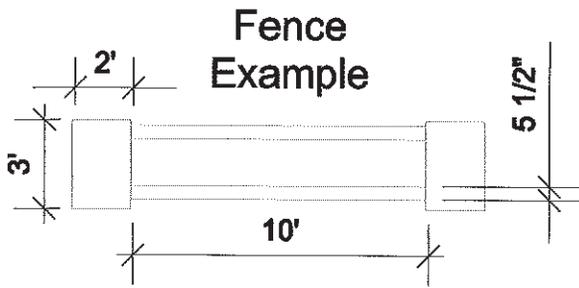
SHEET TITLE  
 Floor Plan

SHEET NUMBER  
 A1.0



**1**  
**A 1.0** Floor Plan  
 Scale: 1/4" = 1'-0"





RK



Exhibit 'A'

**DATE:** August 12, 2016  
**TO:** Village President Fred Winchowky and Plan Commission Members  
**FROM:** Bruce Kaniewski, Village Planner/Zoning Administrator  
**RE:** Eddie Cash/Request for Conditional Use

Eddie Cash of the Eddie Cash Show, Inc. is requesting a conditional use for an indoor music theater. Under the B-2, General Business Zoning District of the site, an indoor theater requires a Conditional use.

The use is proposed to be located at 575 Bay View Road, on the south side of Bay View Road west of Main Street (CTH ES). This is the site with parallel multi-tenant buildings perpendicular to Bay View with the tenant doors facing inward. Although the application states the use will be in Unit #7, I recently learned from a representative of the applicant the use is proposed to occupy Unit #107 within the west building.

According to the application, a show of 50's and 60's music would be provided two to three times during weekends geared toward senior citizens with seating "for around 50 people." The music will be prerecorded with Mr. Cash providing the vocals. Soft drinks and snacks will be available for purchase. While Village Inspection staff has requested a floor plan, as of writing this report, a plan has not been provided for review.

### **Recommendation**

I recommend the Plan Commission conduct the public hearing, but withhold any recommendation at this time. The reason a theater requires conditional use approval is so the public health, safety and welfare is ensured, in this case principally that there is proper egress. Without a floor plan and other information that goes along with a floor plan, such as showing proper restroom facilities and where the drinks and snacks will be served and disposed of, I would be derelict in my responsibility as the zoning administrator to allow the proposal to proceed toward approval.

I appreciate the opportunity to assist the Village with this matter. Should any questions arise, please feel free to contact me.

Cc: John Weidl, Village Administrator (via email)  
Steve Braatz, Village Clerk (via email)  
Bob Harley, Supervisor of Inspections (via email)  
Mark Blum, Village Attorney (via email)  
Jeff Stien, Fire Chief (via email)  
Kevin Schmidt, Police Chief (via email)  
Eddie Cash, Applicant (via email)

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
www.villageofmukwonago.com

**VILLAGE OF MUKWONAGO**  
**CONDITIONAL USE PERMIT APPLICATION**  
**Application Fee: \$450**

Date Submitted: 7-14-16

**CONTACTS**

**Zoning Department**

Contact: Joe Hankovich  
Phone: (262) 363-6419  
Fax: (262) 363-6425  
Email: jhankovich@villageofmukwonago.com

**Planning Department**

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: planner@villageofmukwonago.com

**GUIDELINES**

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Mail completed applications to: Village Planner  
ATTN: Conditional Use Permits  
PO Box 206  
Mukwonago, WI 53149  
Deliver to: Village Clerk's Office  
440 River Crest Court  
Email to: planner@villageofmukwonago.com

Complete, accurate and specific information must be entered. Please Print.

**APPLICANT (Full Legal Name)**

Name: Eddie Cash  
Company: Eddie Cash Show, Inc  
Address: 575 Bay View Rd #707 City: Mukwonago State: WI Zip: 53149  
Daytime Phone: 262-378-4656 Fax: \_\_\_\_\_  
E-Mail: ah1933@psychoc.com

**APPLICANT IS REPRESENTED BY (Full Legal Name)**

Name: Edward A. Dash  
Company: Eddie Dash Show  
Address: 575 Bay View Rd. Suite 7 City: Mukwonago State: WI Zip: 53149  
Daytime Phone: 262-378-4156 Fax: \_\_\_\_\_  
E-Mail: ed1933@yahoo.com

**ARCHITECT**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**PROFESSIONAL ENGINEER**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**REGISTERED SURVEYOR**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**CONTRACTOR**

Name: \_\_\_\_\_  
Company: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**PROPERTY AND PROJECT INFORMATION**

Present Zoning: B-2 Tax Key No(s): 2010-978-002 J.C. EWERT TRUST  
Address/Location: 575 BAY VIEW ROAD (555-575)

A. I/We request a conditional use permit for:

Live Music with Eddie Lash - 50's & 60's Music  
Cater mostly to Seniors 55 & older  
Seating for around 50 people  
Shows 2 to 3 times a week mainly Saturdays @ 7:00 p.m.  
& Sundays at 2:00 p.m. Serving canned soda, french fries  
& chips

B. The property is presently used as:

Vacant

C. Name of Architect, Professional Engineer, or Contractor: \_\_\_\_\_

D. Project Timetable: Start Date: \_\_\_\_\_ Completion Date: \_\_\_\_\_

E. All of the Proposed Use(s) of the property will be:

Principal Use \_\_\_\_\_  
Secondary Use \_\_\_\_\_  
Accessory Use \_\_\_\_\_

F. I/We represent that I/we have a vested interest in this property in the following manner:

- Owner
- Leasehold. Length of Lease: 4 years
- Contractual. Nature of contract: \_\_\_\_\_
- Other. Please explain \_\_\_\_\_

## PROCEDURAL CHECKLIST FOR CONDITIONAL USE REVIEW AND APPROVAL

This form is designed to be a guide for submitting a complete application for a conditional use.

### Application Submittal Packet Requirements for Village and Applicant Use (Check off List)

#### Application:

- Completed application form including the procedural checklist and justification of the proposed conditional use.
- Application fee: \$450
- Agreement for Reimbursable Services (separate application)

#### Required site drawings:

- Survey of the property
- Landscape plan
- Parking plan (including parking computations)
- Lighting plan (including photo metrics)
- Proposed location and connection to the sanitary sewer and water mains
- Drainage plan (if applicable)
- All building elevations
- Floor plans

#### Other Documents:

- Plan of operation/proposal
- Overview of the adjoining lots (including list of parcel identification numbers and names and mailing addresses of the current owners for all properties within 300 feet of the subject property)
- Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
- Any additional information as determined by Village staff

## JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

The Plan Commission and Village Board of the Village of Mukwonago will base their decisions on the category standards listed below. It is in the best interest of the applicant to base their presentation on the same applicable set of standards when presenting their petition. **Applicant: Please fill out ALL of the questions. Use additional sheets of paper if needed.**

- A. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

It will be operated as a senior musical theatre  
serving soft drinks, coffee, candy & bag chips

No live band. All music is done with computers  
All businesses around us will be closed  
during theatre operation

- B. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

It is a Senior Facility in harmony of  
everything above

C. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 100-354 (a), (b), and (c)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development?

No

D. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

None

E. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

No

F. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Sections 100-354 (e)(1) and (2)), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

Yes it will be the only Senior Entertainment Facility in town

**CERTIFICATION**

Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

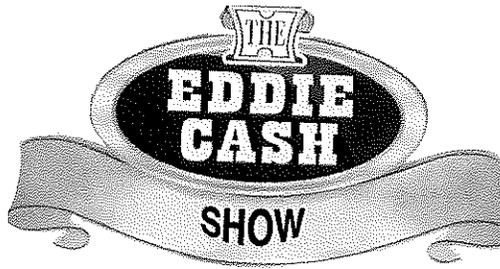
*Theresa Hennessy*  
 Signature - Property Owner  
Theresa Hennessy  
 Name & Title (PRINT)  
7-18-16  
 Date

*[Signature]*  
 Signature - Applicant  
President  
 Name & Title (PRINT)  
7/18/16  
 Date

\_\_\_\_\_  
 Signature - Property Owner  
 \_\_\_\_\_  
 Name & Title (PRINT)  
 \_\_\_\_\_  
 Date

\_\_\_\_\_  
 Signature - Applicant's Representative  
 \_\_\_\_\_  
 Name & Title (PRINT)  
 \_\_\_\_\_  
 Date

FOR OFFICE USE ONLY			
Date Paid	Receipt #	Date(s) Notice Published	Date Notices Mailed
Public Hearing Date	Plan Commission Date(s)	Village Board Date(s)	Resolution Number
Escrow Required? <input type="checkbox"/> Yes <input type="checkbox"/> No		Escrow Amount	
Plan Commission Disposition			
Village Board Disposition			



**PLAN OF OPERATION FOR THE EDDIE CASH MUSIC HALL  
LOCATED AT 575 BAY VIEW RD. SUITE 7, 107  
MUKWONAGO, WISCONSIN**

Eddie Cash is a performer/musical storyteller who has been doing his shows for over 60 years.

We plan on doing two to three shows a week for approximately 40 to 50 people each show.

We will have a small concession area serving canned soda, bags of chips and candy bars.

A handwritten signature in cursive script, appearing to read "Eddie Cash".

\_\_\_\_\_  
Eddie Cash/dba Eddie Cash Music Hall

A handwritten date "7/8/16" written in cursive script.

\_\_\_\_\_

August 12, 2016

Fred Winchowky, Village President  
Village of Mukwonago  
440 River Crest Court  
Mukwonago, WI 53149

Re: Conditional Use Reviews/Mukwonago Union High School

Dear President Winchowky and Members of the Plan Commission:

Curt Wielbelhaus, Supervisor of Building and Grounds for the Mukwonago Area School District have submitted applications for two separate requests on the site of the high school. Both applications will be reviewed during the same public hearing. The two applications include the following:

1. A new 36 foot by 56 foot storage structure to replace a 14 foot by 22 foot track storage shed at the southwest corner of the track surrounding the athletic field.
2. The comprehensive plan for additions and interior alterations to the high school building and exterior site improvements supported by the recent referendum approval.

The entire high school site has an assigned zoning of P-1, Public and Semipublic District. In P-1, schools require conditional use approval provided the site area is more than two acres and principal structures and uses are greater than 50 feet from any lot line.

### **Storage Structure**

The Mukwonago Braves (youth football) will be funding the majority of the project and will be the primary occupant. The gray steel building with brick wainscoting is similar to the design of other accessory buildings surrounding the athletic field. The P-1 district does not have any minimum standard for building design, although building design is subject to review by the Plan Commission and Village Board via the conditional use review.

The district has submitted plans that meet standards for building egress and exterior lighting. I recommend approval of the storage structure subject to the following conditions.

1. Approval of the plans for the 36 foot by 56 foot storage structure shall be subject to the package of documents and plans submitted by the applicant to the Village of Mukwonago.
2. Prior to construction, a building permit shall be issued.

### **High School Additions, Interior Alterations and Exterior Site Improvements**

There are multiple aspects to the comprehensive plan that will enhance the educational value of the high school along with use of the facility by the general public. The applicant and their representatives are prepared to present the proposal in detail during the public hearing. The following are the major points Village Department Heads discussed with the applicant during plan review to be presented during the public hearing for consideration by the Plan Commission:

1. Adequacy of External site ingress/egress (approval from Waukesha County for changes to CTH NN access points is required).
2. Adequacy of internal site turning movements, especially for fire apparatus and school buses.
3. Adequacy of internal site traffic flow, for both vehicles and pedestrians.
4. The exterior architectural design of the additions.

It is the intent of the school district to commence construction this fall on phase 1 of the project. Phase 1 involves realigning the bus drop-off/pick-up area east and southeast of the school. With the overall site improvements and additions, school bus traffic and staff parking will be solely on the east side. Parent drop-off/pick-up will be at the middle of the school front, and student parking will be separated from the remainder of the activity on the west end of the site.

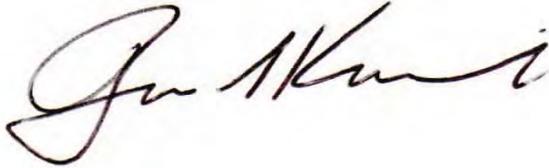
Therefore, I recommend the Plan Commission forward a recommendation to the Village Board to approve the conditional use for phase 1. Approvals for the remainder of the project will occur in subsequent months when the architectural design for all additions is finalized.

For phase 1 approval, I suggest the following conditions:

1. Approval shall be subject to the submitted plans for the drive aisles and parking lot improvements east and southeast of the school building as shown on submitted plans. The submitted plans may be altered for proper turning movements and proper dimensioning of drive, parking and landscape island design for the approval of the Fire Chief, Village Engineer and Zoning Administrator.
2. Approval shall be subject to approval of a Storm Water Maintenance Agreement by the Village Board.
3. Approval shall be subject to submittal by applicant and approval of the Village Engineer of a soil erosion plan.
4. Prior to the start of phase 1 construction, applicant shall receive from the Village a soil disturbance permit and an erosion control permit.

I appreciate the opportunity to assist the Village of Mukwonago with the review of this proposal. Should any questions arise, please feel free to contact me.

Sincerely,



Bruce S. Kaniewski, AICP  
Village Planner

Cc: John Weidl, Village Administrator (via email)  
Steve Braatz, Jr., Village Clerk (via email)  
Bob Harley, Supervisor of Inspections (via email)  
Kurt Peot, P.E., Village Engineer (via email)  
Kevin Schmidt, Police Chief (via email)  
Jeff Stien, Fire Chief (via email)  
Dave Brown, Utilities Superintendent (via email)  
Ron Bittner, Public Works Director (via email)  
Mark Blum, Village Attorney (via email)  
Curt Wielbelhaus, Applicant (via email)  
Chris Eger, Architect (via email)

## SUMMARY

Project: Mukwonago Area School District  
Mukwonago High School Additions and Renovation

Project No: 3207 – Plan Commission Submittal

Date: Thursday | July 7, 2016



### Summary and Plan of Operation:

This site review request is due to the expanding needs of Mukwonago High School. In order to compete with neighboring districts as well as to provide the necessary space for expanding enrollment and student enrichment, Mukwonago High School will need to expand. The expansion and renovation will allow the school to broaden programs and bring in outside tournaments and possibly professional performing arts groups.

The proposed alterations to Mukwonago High School include various interior renovations to the existing Cafeteria, Library, offices, upper classrooms and Technical Education spaces. The additions include an approximately 42,000 square foot three station gymnasium with supporting spaces and entrance spaces added to the NorthWest corner of the existing building. The second large addition includes a 47,000 square foot auditorium, with support and music classrooms attached to the NorthEast corner of the existing building.

Typical hours of operation for the High School are between 6:00 am and 5:00 pm. The roughly 200 staff members arrive at school between the hours of 6:00 am and 7:00 am. School begins at 7:30, with buses and parents dropping off roughly 1400 students between 7:00 am and 7:20 am. School ends at 2:45 and buses pick up between 2:45 and 2:55.

There are currently 850 parking stalls on the existing property. The renovation and site work would add roughly 100 additional spaces. Currently the parking lot is close to capacity on school days and is at capacity during Friday night football games. Football games typically begin at 7:00 pm and end between 9:30 and 10:00 pm.

There will be landscaping added per ordinances and screening as necessary. The existing tennis court will be demolished and a new located farther to the West of the property on the West side of the stadium. There will be a stormwater pond added to the lower South side of the site to handle added impervious parking lots and buildings.

BRAY ASSOCIATES ARCHITECTS, INC.



Chris Eger  
Project Team Leader

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
[www.villageofmukwonago.com](http://www.villageofmukwonago.com)

**VILLAGE OF MUKWONAGO**  
**CONDITIONAL USE PERMIT APPLICATION**  
**Application Fee: \$450**

Date Submitted: July 7, 2016

**CONTACTS**

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**Zoning Department**

Contact: Joe Hankovich  
Phone: (262) 363-6419  
Fax: (262) 363-6425  
Email: [jhankovich@villageofmukwonago.com](mailto:jhankovich@villageofmukwonago.com)

**Planning Department**

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

**GUIDELINES**

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The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago.

Conditional use applications require a public hearing. To ensure the public hearing will be properly advertised, the application must be submitted **at least 30 days prior to the meeting** in which the Plan Commission will hold the public hearing. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed on page 3 must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100-354 and other pertinent sections of Village ordinances, WI Stats. 62.23, and as necessary to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Conditional Use Permits  
PO Box 206  
Mukwonago, WI 53149  
Deliver to: Village Clerk's Office  
440 River Crest Court  
Email to: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

Complete, accurate and specific information must be entered. Please Print.

**APPLICANT (Full Legal Name)**

---

Name: Curt Wiebelhaus - Supervisor of Buildings & Grounds \_\_\_\_\_  
Company: Mukwonago Area School District \_\_\_\_\_  
Address: 385 County Hwy NN \_\_\_\_\_ City: Mukwonago State: WI Zip: 53149  
Daytime Phone: 262-363-6300 Ext. 24300 \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: [cwiebecu@masd.k12.wi.us.com](mailto:cwiebecu@masd.k12.wi.us.com) \_\_\_\_\_

**APPLICANT IS REPRESENTED BY (Full Legal Name)**

---

Name: Chris Eger \_\_\_\_\_  
Company: Bray Architects \_\_\_\_\_  
Address: 829 S. 1st Street \_\_\_\_\_ City: Milwaukee \_\_\_\_\_ State: WI Zip: 53204  
Daytime Phone: 414-226-0200 \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: ceger@brayarch.com \_\_\_\_\_

**ARCHITECT**

---

Name: Clint Selle (Chris Eger) \_\_\_\_\_  
Company: Bray Architects \_\_\_\_\_  
Address: 829 S. 1st Street \_\_\_\_\_ City: Milwaukee \_\_\_\_\_ State: WI Zip: 53204  
Daytime Phone: 414-226-0200 \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: ceger@brayarch.com \_\_\_\_\_

**PROFESSIONAL ENGINEER**

---

Name: Michael J. Froehlich, PE \_\_\_\_\_  
Company: Kapur & Associates \_\_\_\_\_  
Address: 7711 N Port Washington Road \_\_\_\_\_ City: Milwaukee \_\_\_\_\_ State: WI Zip: 53217  
Daytime Phone: 414-351-6668 \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: mfroehlich@kapur-assoc.com \_\_\_\_\_

**REGISTERED SURVEYOR**

---

Name: John P. Konopacki, PLS \_\_\_\_\_  
Company: Pinnacle Engineering Group \_\_\_\_\_  
Address: 15850 W. Bluemound Rd, Suite 210 \_\_\_\_\_ City: Brookfield \_\_\_\_\_ State: WI Zip: 53005  
Daytime Phone: 262-754-8888 \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: john.konopacki@pinnacle-engr.com \_\_\_\_\_

**CONTRACTOR**

---

Name: Joseph Schmidt, PE \_\_\_\_\_  
Company: CG Schmidt, Inc. \_\_\_\_\_  
Address: 11777 W. Lake Park Drive \_\_\_\_\_ City: Milwaukee \_\_\_\_\_ State: WI Zip: 53224  
Daytime Phone: 414-577-1147 \_\_\_\_\_ Fax: \_\_\_\_\_  
E-Mail: joe.schmidt@cgschmidt.com \_\_\_\_\_

**PROPERTY AND PROJECT INFORMATION**

Present Zoning: P-1 Public & Semi-Public District Tax Key No(s): MUKV 1960-998-001

Address/Location: 605 School Drive

A. I/We request a conditional use permit for:

Additions and renovations to Mukwonago High School. The High School is currently zoned as P-1 and allows public school as a conditional use provided that the site area is more than two acres and that all principal structures and uses are greater than 50 feet from any lot line.

B. The property is presently used as:

Mukwonago High School

C. Name of Architect, Professional Engineer, or Contractor: Bray Architects, Kapur & Associates, & CG Schmidt

D. Project Timetable: Start Date: August 23, 2016 Completion Date: Phase 1 - November 2016/  
All Phases - July 2018

E. All of the Proposed Use(s) of the property will be:

Principal Use Mukwonago High School

Secondary Use

Accessory Use

F. I/We represent that I/we have a vested interest in this property in the following manner:

Owner

Leasehold. Length of Lease: \_\_\_\_\_

Contractual. Nature of contract: \_\_\_\_\_

Other. Please explain

## PROCEDURAL CHECKLIST FOR CONDITIONAL USE REVIEW AND APPROVAL

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This form is designed to be a guide for submitting a complete application for a conditional use.

### Application Submittal Packet Requirements for Village and Applicant Use (Check off List)

#### Application:

- Completed application form including the procedural checklist and justification of the proposed conditional use.
- Application fee: \$450
- Agreement for Reimbursable Services (separate application)

#### Required site drawings:

- Survey of the property
- Landscape plan
- Parking plan (including parking computations)
- Lighting plan (including photo metrics)
- Proposed location and connection to the sanitary sewer and water mains
- Drainage plan (if applicable)
- All building elevations
- Floor plans

#### Other Documents:

- Plan of operation/proposal
- Overview of the adjoining lots (including list of parcel identification numbers and names and mailing addresses of the current owners for all properties within 300 feet of the subject property)
- Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
- Any additional information as determined by Village staff

## JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

---

The Plan Commission and Village Board of the Village of Mukwonago will base their decisions on the category standards listed below. It is in the best interest of the applicant to base their presentation on the same applicable set of standards when presenting their petition. **Applicant: Please fill out ALL of the questions. Use additional sheets of paper if needed.**

- A. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

There will be no changes to the current use which is allowed under the municipal zoning code as a conditional use. The semi public and public aspect of a gymnasium and auditorium aligns with the MCP.

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- B. How is the proposed conditional use, in its specific location, in harmony with the proposed, goals, objectives, policies and standards of the Village of Mukwonago Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

There will be no changes to the use as it currently stands, however the additions will be public spaces that will be used not only by the High School, but by the community. These spaces will bring a new design to the High School as seen from HWY NN and will be more public aligning closer to the zoning use of public and semi-public than the current building has done.

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- C. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 100-354 (a), (b), and (c)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency having jurisdiction to guide development?

The proposed use again does not deviate from how the property has already been used. Parking and exiting from the school property will be simplified and better distributed. Buses and employee parking will be in the East lot coming and going through the East entrance. Parents (drop off/ event parking) and visitors will be using the central entrance and parking in front of the buildings. Students will be parking in the West lot and arriving and leaving from the West entrance.

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- D. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The additions will be completed over what is currently asphalt parking. Any existing pervious areas of grass or landscape that will be affected will involve stormwater management and will be managed onsite. The residential neighborhoods to the North, East and West will benefit from the improved property.

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- E. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The use is located closer to HWY NN which will provide all utilities to the site. The neighborhood to the North is currently using the High School property for stormwater. This will be maintained if necessary.

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- F. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Sections 100-354 (e)(1) and (2)), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The improvement to the function of the property, the design of the building and the use of the new spaces far outway any adverse affects to the site impacts.

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**CERTIFICATION**

Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

  
 \_\_\_\_\_  
 Signature - PProperty Owner

Curt Wiebelhaus - Supervisor of Buildings & Grounds

\_\_\_\_\_  
 Name & Title (PRINT)

07.07.16

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Signature - Applicant

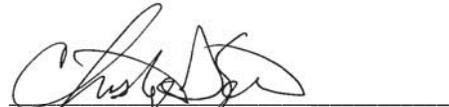
\_\_\_\_\_  
 Name & Title (PRINT)

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Signature - Property Owner

\_\_\_\_\_  
 Name & Title (PRINT)

\_\_\_\_\_  
 Date

  
 \_\_\_\_\_  
 Signature – Applicant's Representative

Chris Eger - Bray Architects

\_\_\_\_\_  
 Name & Title (PRINT)

07.07.16

\_\_\_\_\_  
 Date

FOR OFFICE USE ONLY			
Date Paid	Receipt #	Date(s) Notice Published	Date Notices Mailed
Public Hearing Date	Plan Commission Date(s)	Village Board Date(s)	Resolution Number
Escrow Required? <input type="checkbox"/> Yes <input type="checkbox"/> No		Escrow Amount	
Plan Commission Disposition			
Village Board Disposition			

Village of Mukwonago  
440 River Crest Court, P.O. Box 206  
Mukwonago, WI 53149  
Phone: (262) 363-6420  
Fax: (262) 363-6425  
[www.villageofmukwonago.com](http://www.villageofmukwonago.com)

**VILLAGE OF MUKWONAGO**  
**SITE PLAN, ARCHITECTURAL, AND PLANNED**  
**UNIT DEVELOPMENT (PUD) APPLICATION**  
**Application Fee: Below**

July 7, 2016

Date Submitted: \_\_\_\_\_

**FEES**

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*(Please check one)*

- Minor Site Plan (Buildings less than 600 sq. ft.): \$135.00 plus \$.02 per sq. ft.
- Site Plan and/or Architectural Review: \$250.00 plus \$.02 per sq. ft.
- Conceptual Site Plan and/or Architectural Review: \$200.00 plus \$.02 per sq. ft.
- Planned Unit Development (PUD) Review: \$185.00 plus \$25.00/unit

**CONTACTS**

---

**Zoning Department**

Contact: Joe Hankovich  
Phone: (262) 363-6419  
Fax: (262) 363-6425  
Email: [jhankovich@villageofmukwonago.com](mailto:jhankovich@villageofmukwonago.com)

**Planning Department**

Contact: Bruce Kaniewski  
Phone: (414) 339-4105  
Fax: (262) 363-6425  
Email: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

**GUIDELINES**

---

The undersigned petition is to consider a request, as stated herein, for the specified parcel(s) of land and will be reviewed by the Plan Commission and Village Board of the Village of Mukwonago. The application packet must be filed with the Village Clerk **at least 30 days prior to the meeting** of the Planning Commission at which action is desired. The Plan Commission meets on the second Tuesday of each month at 6:30 p.m.

Materials listed below must be provided to the Village of Mukwonago in accordance with Village Municipal Code Chapter 100 Article IX. Section 100-601(f) and other pertinent sections of Village ordinances, and, as necessary, to permit review that is consistent with proper planning practice. The Village will strive to accommodate reasonable requests for informal preliminary staff review, however the Village shall not place any items on the agenda for Plan Commission consideration until such time as the application is complete in accordance with all requirements specified on this and other attached application forms.

Mail completed applications to: Village Planner  
ATTN: Site Plan/Architectural Plan/Planned Unit Development  
PO Box 206  
Mukwonago, WI 53149

Deliver to: Village Clerk's Office  
440 River Crest Court

Email to: [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com)

Complete, accurate and specific information must be entered. Please Print.

**APPLICANT (Full Legal Name)**

---

**Name:** Curt Wiebelhaus - Supervisor of Buildings & Grounds \_\_\_\_\_

**Company:** Mukwonago Area School District \_\_\_\_\_

**Address:** 385 County Hwy NN \_\_\_\_\_ **City:** Mukwonago **State:** WI **Zip:** 53149

**Daytime Phone:** 262-363-6300 Ext. 24300 \_\_\_\_\_ **Fax:** \_\_\_\_\_

**E-Mail:** [cwiebecu@masd.k12.wi.us.com](mailto:cwiebecu@masd.k12.wi.us.com) \_\_\_\_\_

**APPLICANT IS REPRESENTED BY (Full Legal Name)**

---

**Name:** Chris Eger \_\_\_\_\_  
**Company:** Bray Architects \_\_\_\_\_  
**Address:** 829 S. 1st Street \_\_\_\_\_ **City:** Milwaukee \_\_\_\_\_ **State:** WI **Zip:** 53204  
**Daytime Phone:** 414-226-0200 \_\_\_\_\_ **Fax:** \_\_\_\_\_  
**E-Mail:** ceger@brayarch.com \_\_\_\_\_

**ARCHITECT**

---

**Name:** Clint Selle (Chris Eger) \_\_\_\_\_  
**Company:** Bray Architects \_\_\_\_\_  
**Address:** 829 S. 1st Street \_\_\_\_\_ **City:** Milwaukee \_\_\_\_\_ **State:** WI **Zip:** 53204  
**Daytime Phone:** 414-226-0200 \_\_\_\_\_ **Fax:** \_\_\_\_\_  
**E-Mail:** ceger@brayarch.com \_\_\_\_\_

**PROFESSIONAL ENGINEER**

---

**Name:** Michael J. Froehlich, PE \_\_\_\_\_  
**Company:** Kapur & Associates \_\_\_\_\_  
**Address:** 7711 N Port Washington Road \_\_\_\_\_ **City:** Milwaukee \_\_\_\_\_ **State:** WI **Zip:** 53217  
**Daytime Phone:** 414-351-6668 \_\_\_\_\_ **Fax:** \_\_\_\_\_  
**E-Mail:** mfroehlich@kapur-assoc.com \_\_\_\_\_

**REGISTERED SURVEYOR**

---

**Name:** John P. Konopacki, PLS \_\_\_\_\_  
**Company:** Pinnacle Engineering Group \_\_\_\_\_  
**Address:** 15850 W. Bluemound Rd, Suite 210 \_\_\_\_\_ **City:** Brookfield \_\_\_\_\_ **State:** WI **Zip:** 53005  
**Daytime Phone:** 262-754-8888 \_\_\_\_\_ **Fax:** \_\_\_\_\_  
**E-Mail:** john.konopacki@pinnacle-engr.com \_\_\_\_\_

**CONTRACTOR**

---

**Name:** Joseph Schmidt, PE \_\_\_\_\_  
**Company:** CG Schmidt, Inc. \_\_\_\_\_  
**Address:** 11777 W. Lake Park Drive \_\_\_\_\_ **City:** Milwaukee \_\_\_\_\_ **State:** WI **Zip:** 53224  
**Daytime Phone:** 414-577-1147 \_\_\_\_\_ **Fax:** \_\_\_\_\_  
**E-Mail:** joe.schmidt@cgschmidt.com \_\_\_\_\_

## PROPERTY INFORMATION

---

Property Owner (s) (if different from applicant): \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-Mail: \_\_\_\_\_

Present Zoning: P-1 Public & Semi- Tax Key No(s): MUKV 1960-998-001 \_\_\_\_\_  
Public District

Location/Address: \_\_\_\_\_ 605 School Drive \_\_\_\_\_

Present Use: Mukwonago High School \_\_\_\_\_ Intended Use: Mukwonago High School \_\_\_\_\_

## PROCEDURAL CHECKLIST FOR SITE PLAN/ARCHITECTURAL PLAN/PUD REVIEW AND APPROVAL

---

Submittals for review must include and be accompanied by the following:

### Application:

- x Completed application form including the procedural checklist.
- x Application fee: See page 1. Delivered by owner in separate submittal
- x Agreement for Reimbursable Services (separate application).

### Other Documents:

- Five(5) complete sets of Application and materials, in addition to the original, for Village of Mukwonago review. Delivered in separate submittal on Friday June 8, 2016
  - x Project Summary: Please attach a statement detailing the reasons and background for this request including: details of proposal, services provided, wares sold, plans and hours of operation, number of employees, frequency of customer visits, frequency of deliveries to site, description of any interior/exterior modifications or additions to be made to property, any outside storage (dumpsters, trucks, materials...), number of parking stalls, screening/buffer type, any other information available. **PLEASE EXPLAIN IN DETAIL.**
  - x **Electronic Submittals are required.** Email (or CD ROM) with all plans and submittal materials in Adobe PDF to [planner@villageofmukwonago.com](mailto:planner@villageofmukwonago.com).
  - Any additional information as determined by Village staff.
- **Upon receipt of a complete submittal, staff review will be conducted within ten business days.**
  - **All Site Plan, Architectural, and Planned Unit Development review requests require Plan Commission review and Village Board approval.**

**CERTIFICATION**

Applicant hereby certifies that:

1. All of the above statements and other information submitted as part of this application are true and correct to the best of his or her knowledge.
2. Affirms that no Village of Mukwonago elected or appointed official or employee has a proprietary interest in the above referenced property for which this applications being filed (except as stated below under "Exceptions").
3. None of the above referenced individuals has been promised or given any contract for consultation, planning or construction in relation to this project (except as stated below under "Exceptions").
4. Applicant has read and understands all information in this packet.

Applicant further understands the policies of the Village regarding change of zonings and property development. Conditions of the resolution regarding all approvals are strictly followed. Certificates of Occupancy are not given until all conditions of approval have been met

By the execution of this application, applicant hereby authorizes the Village of Mukwonago or its agents to enter upon the property during the hours of 7:00 am to 7:00 pm daily for the purpose of inspection. Applicant grants this authorization to enter even if this land has been posted against trespassing pursuant to Section 943.13 WI Stats.

*(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).*

  
 \_\_\_\_\_  
 Signature - Property Owner

Curt Wiebelhaus - Supervisor of Buildings & Grounds

Name & Title (PRINT)

07.07.16  
 \_\_\_\_\_  
 Date

\_\_\_\_\_  
 Signature - Property Owner

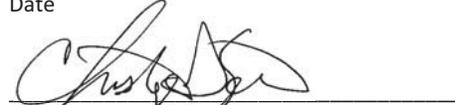
\_\_\_\_\_  
 Name & Title (PRINT)

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Signature - Applicant

\_\_\_\_\_  
 Name & Title (PRINT)

\_\_\_\_\_  
 Date

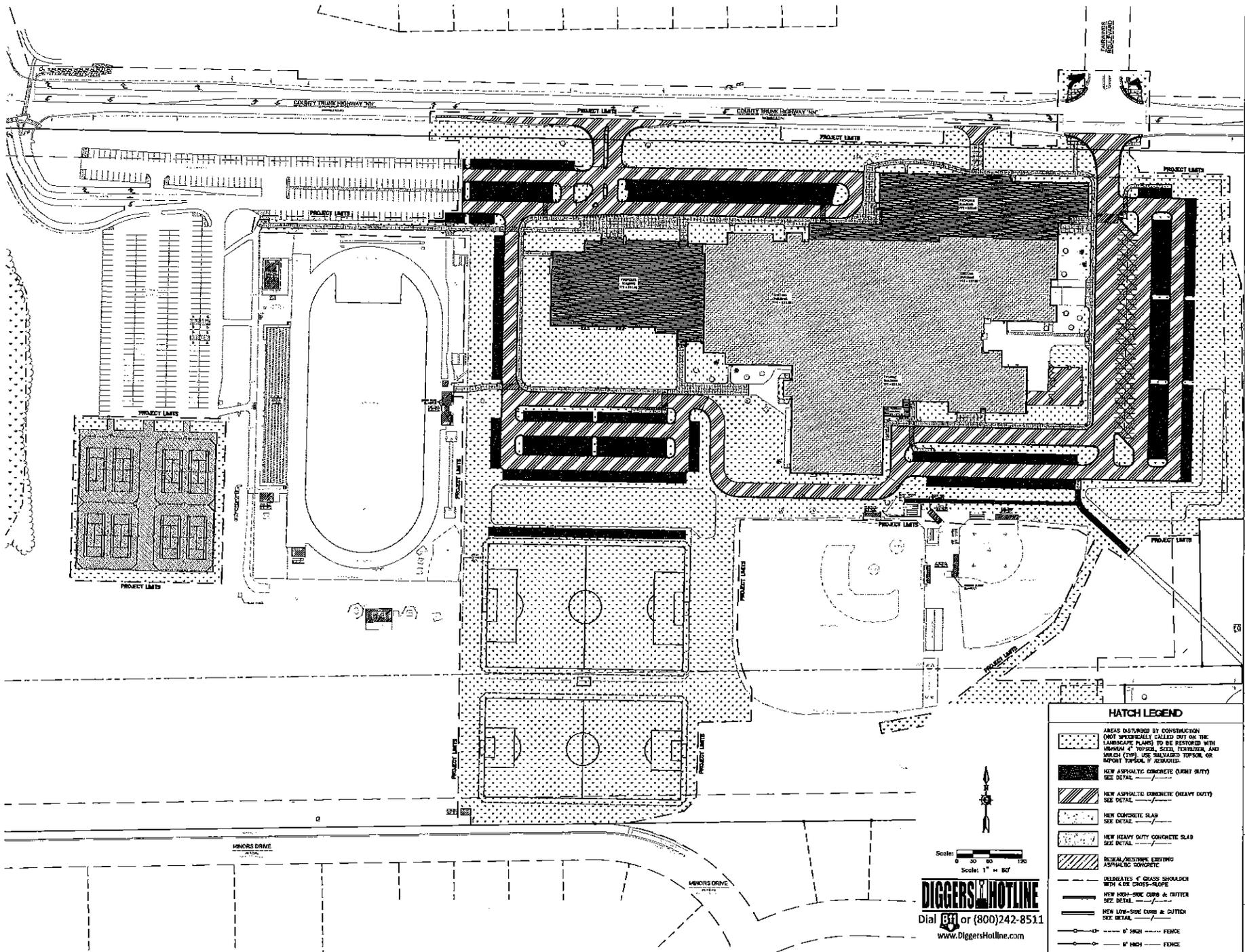
  
 \_\_\_\_\_  
 Signature – Applicant's Representative

Chris Eger - Bray Architects

\_\_\_\_\_  
 Name & Title (PRINT)

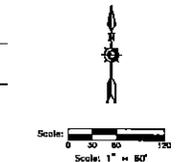
07.07.16  
 \_\_\_\_\_  
 Date

FOR OFFICE USE ONLY	
<b>Date Paid</b>	<b>Receipt #</b>
<b>Plan Commission Date(s)</b>	<b>Village Board Date(s)</b>
<b>Escrow Required?</b> <input type="checkbox"/> Yes <input type="checkbox"/> No	<b>Escrow Amount</b>
<b>Plan Commission Disposition</b>	
<b>Village Board Disposition</b>	



**HATCH LEGEND**

- AREAS DISTURBED BY CONSTRUCTION AND SPECIALLY CALLED OUT ON THE LANDSCAPE PLANS TO BE RESTORED WITH MANNA 4" TOPSOIL, SEED, FERTILIZER AND MULCH (CIVIL USE SCHEDULED TOPSOIL OR REPORT TO SOIL # RECORDED)
- NEW ASPHALTIC CONCRETE (HEAVY DUTY) SEE DETAIL
- NEW ASPHALTIC CONCRETE (HEAVY DUTY) SEE DETAIL
- NEW CONCRETE SLAB SEE DETAIL
- NEW HEAVY DUTY CONCRETE SLAB SEE DETAIL
- EXISTING/RESTORING EXISTING ASPHALTIC CONCRETE
- DELINEATES 4" GRASS SHOULDER WITH 4:1% CROSS-SLOPE
- NEW HIGH-SIDE CURB & GUTTER SEE DETAIL
- NEW LOW-SIDE CURB & GUTTER SEE DETAIL
- 6" HIGH FENCE
- 8" HIGH FENCE



**DIGGERS HOTLINE**  
 Dial 611 or (800)242-8511  
 www.DiggersHotline.com

**bray architects**  
 civil foundation forward thinking

Office Location:  
 Milwaukee  
 833 S. 1st Street  
 Milwaukee, WI 53204  
 T: 414.224.0280

Chicago  
 1120 North 4th Street  
 PO Box 350  
 Chicago, Wisconsin 53042  
 T: 630.454.4700  
 www.brayarchitect.com

**KARIN & ASSOCIATES, INC.**  
 CAROL ANN KAR, P.E., LEED AP  
 111 N. 102nd Street  
 Milwaukee, WI 53222  
 Phone: (414) 224-2299 Fax: (414) 224-2111  
 www.karinengineering.com

Project Name:  
 Additions & Alterations To:  
 Mukwonago High School  
 Mukwonago Ave School District  
 605 W. School Road

Project Number:  
 3207

Issued For:  
 Plan Commission  
 Submittal

Issue Date:  
 August 5, 2010

Sheet Title:  
 OVERALL  
 SITE PLAN

Sheet Number:  
 C1.20

8/20/10 11:57 AM  
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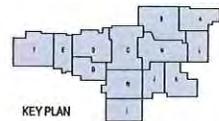


12/20/11 02:11:17 PM  
Z:\Bentley\Users\jms\jms\_Corridor\_Overall.rvt



- Existing
- New Construction
- Renovation
- Corridor - Existing
- Corridor - New

North  
**FIRST FLOOR SCHEMATIC-OVERALL**  
 Scale: 1" = 32'-0"



Office Location:  
 Milwaukee  
 125 South 1st Street  
 Milwaukee, Wisconsin 53224  
 T: 414.228.5500

Chicago  
 1701 Broadway Dr., Suite 100  
 Chicago, IL 60604  
 T: 312.407.4555  
 F: 312.407.4552

www.brayarch.com

Project Title:  
**Additions & Alterations To:  
 Mukwonago High School  
 Mukwonago Area School District  
 605 W. School Road**

Project Number:  
**3207**

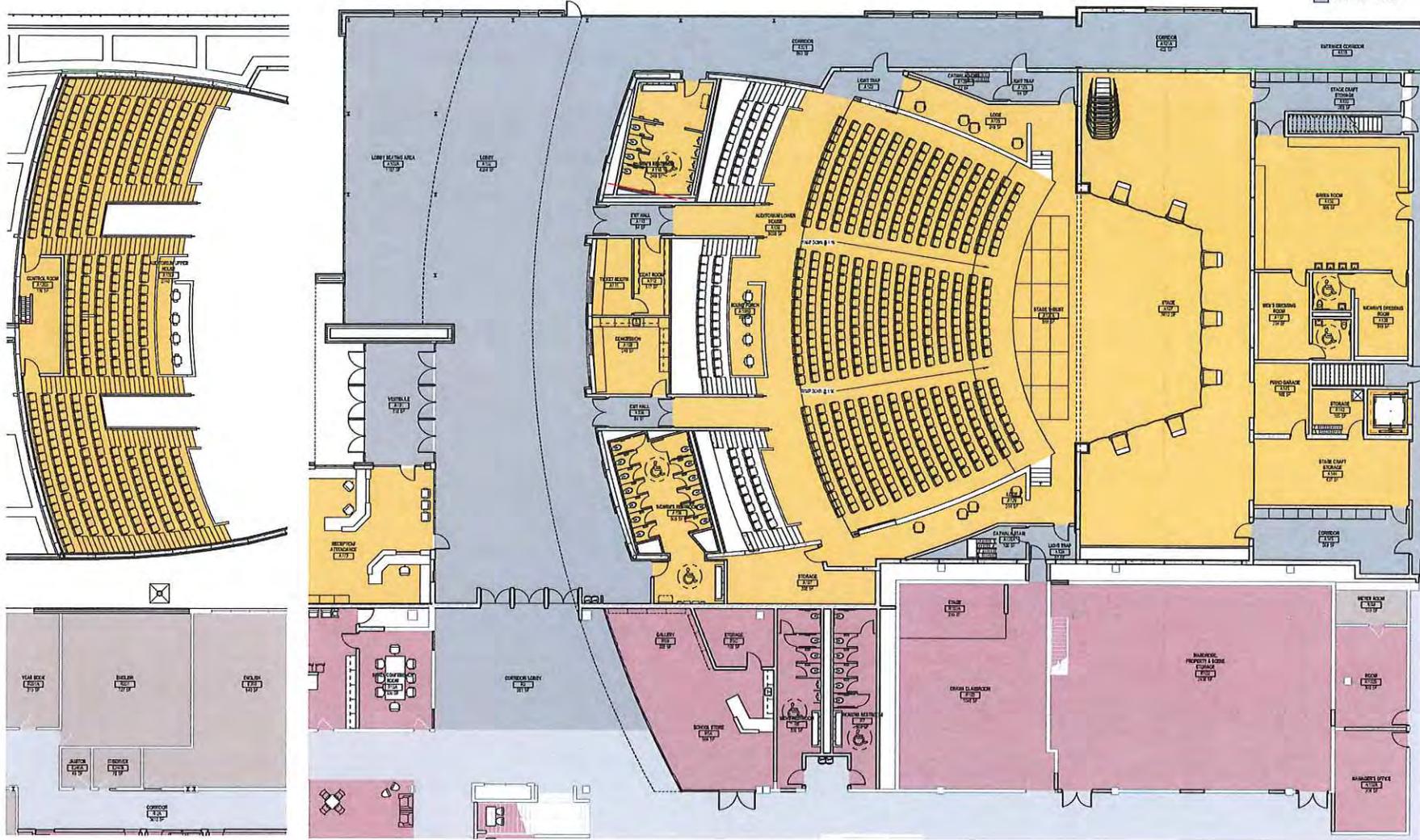
Issued For:  
**VILLAGE OF  
 MUKWONAGO**

Issue Date:

Sheet Title:  
**FIRST FLOOR  
 OVERALL**

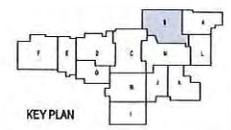
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**A1**

- Existing
- New Construction
- Renovation
- Corridor - Existing
- Corridor - New



North  
**SECOND FLOOR SCHEMATIC - AUDITORIUM**  
 Scale: 1/8" = 1'-0"

North  
**FIRST FLOOR SCHEMATIC - AUDITORIUM**  
 Scale: 1/8" = 1'-0"



**bray**  
**ARCHITECTS**  
 some foundation. thoughtful thinking.

Office Location:  
 4th Floor  
 229 South 1st Street  
 Waukegan, Wisconsin 53224  
 T: 414.228.0200

Project:  
 Additions & Alterations To:  
 Mukwonago High School  
 Mukwonago Area School District  
 605 W. School Road

Project Number:  
**3207**

Issued For:  
**VILLAGE OF MUKWONAGO**

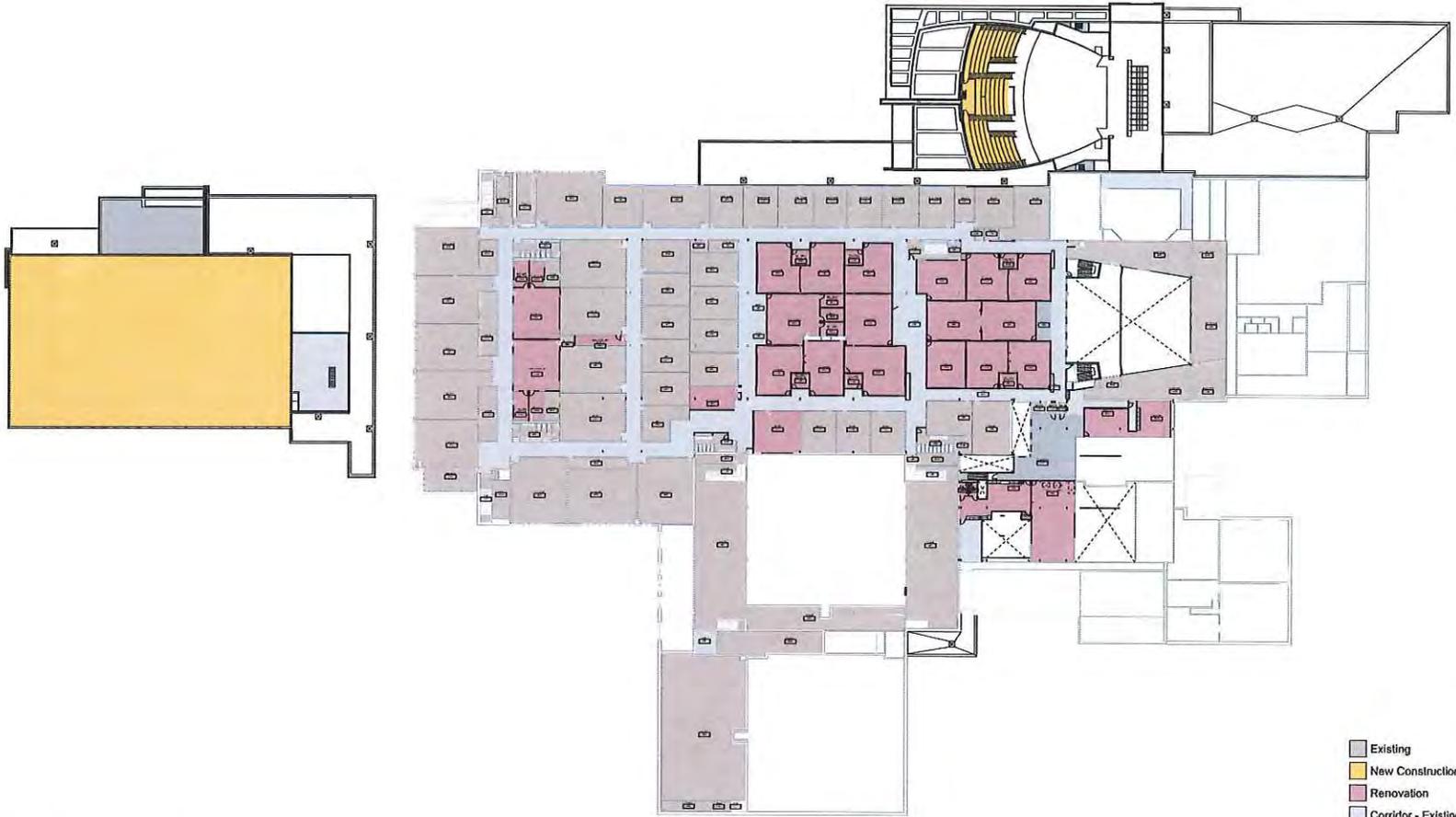
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Sheet Title:  
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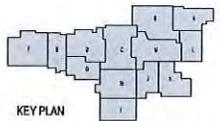
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2024.01.15 10:00 AM  
 2024.01.15 10:00 AM  
 2024.01.15 10:00 AM





North  
**SECOND FLOOR OVERALL.**  
 Scale: 1" = 30'0"



**Office Locations:**  
**Chicago**  
 1212 Fremont Street  
 Milwaukee, Wisconsin 53234  
 T: 414.208.2050  
  
**Madison**  
 1712 First Street  
 Madison, WI 53702  
 T: 608.487.2000  
 www.brayarch.com

Project Title:  
**Additions & Alterations To  
 Mukwonago High School  
 Mukwonago Area School District  
 605 W. School Road**

Project Number:  
**3207**  
 Issued For:  
**VILLAGE OF  
 MUKWONAGO**  
 Issue Date:

Sheet Title:  
**SECOND FLOOR  
 OVERALL**

Sheet Number:  
**A2**



REN - AUDITORIUM - NORTH  
Scale: 1/8" = 1'-0"



REN - AUDITORIUM - WEST  
Scale: 1/8" = 1'-0"



REN - AUDITORIUM - EAST  
Scale: 1/8" = 1'-0"



REN - BAND/ORCHESTRA - NORTH  
Scale: 1/8" = 1'-0"



Office Location:  
**Madison**  
 829 South 1st Street  
 Madison, Wisconsin 53704  
 T. 608.228.2000  
 bray@bray.com  
 1224 North Lincoln Street  
 4th Floor  
 Madison, Wisconsin 53703  
 T. 608.228.2000  
 F. 608.228.2000  
 www.brayarch.com

Project Title:  
**Additions & Alterations To:  
 Mukwonago High School  
 Mukwonago Area School District  
 665 W. School Road**

Project Number:  
**3207**

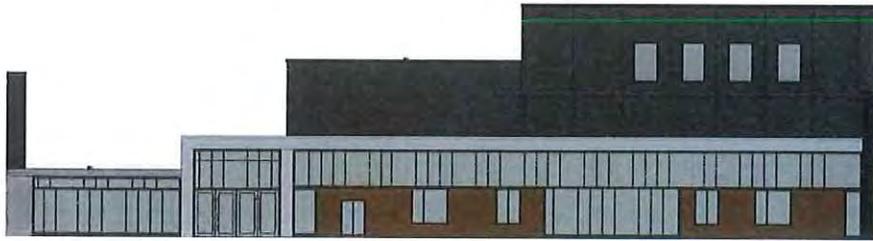
Issued For:  
**VILLAGE OF  
 MUKWONAGO**

Issue Dates:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

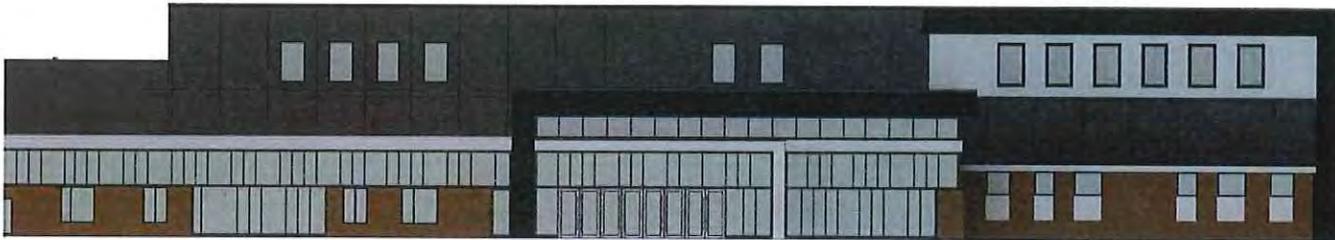
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**AUDITORIUM  
 RENDERED  
 ELEVATIONS**

Sheet Number:  
**A3.A**

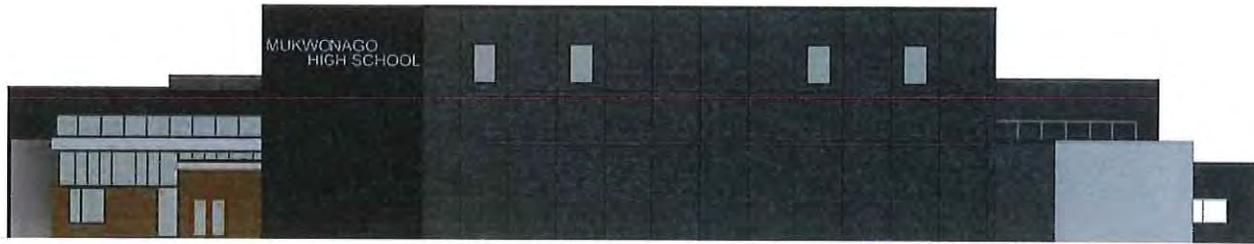
2018.01.15  
 2018.01.15  
 2018.01.15



REN - GYMNASIUM - NORTH  
Scale: 1/8" = 1'-0"



REN - GYMNASIUM - NORTH ENTRY  
Scale: 1/8" = 1'-0"



REN - GYMNASIUM - WEST  
Scale: 1/8" = 1'-0"



Office Location:  
**Bray Architects**  
 820 South 1st Street  
 Milwaukee, Wisconsin 53224  
 T. 414.228.0000  
 Chicago Office  
 1700 Broadway Street  
 Chicago, Illinois 60604  
 T. 312.455.4400  
 F. 312.455.4400  
 www.brayarch.com

Project Title:  
 Additions & Alterations To:  
 Mukwonago High School  
 Mukwonago Area School District  
 605 W. School Road

Project Number:  
**3207**

Issued For:  
**VILLAGE OF MUKWONAGO**

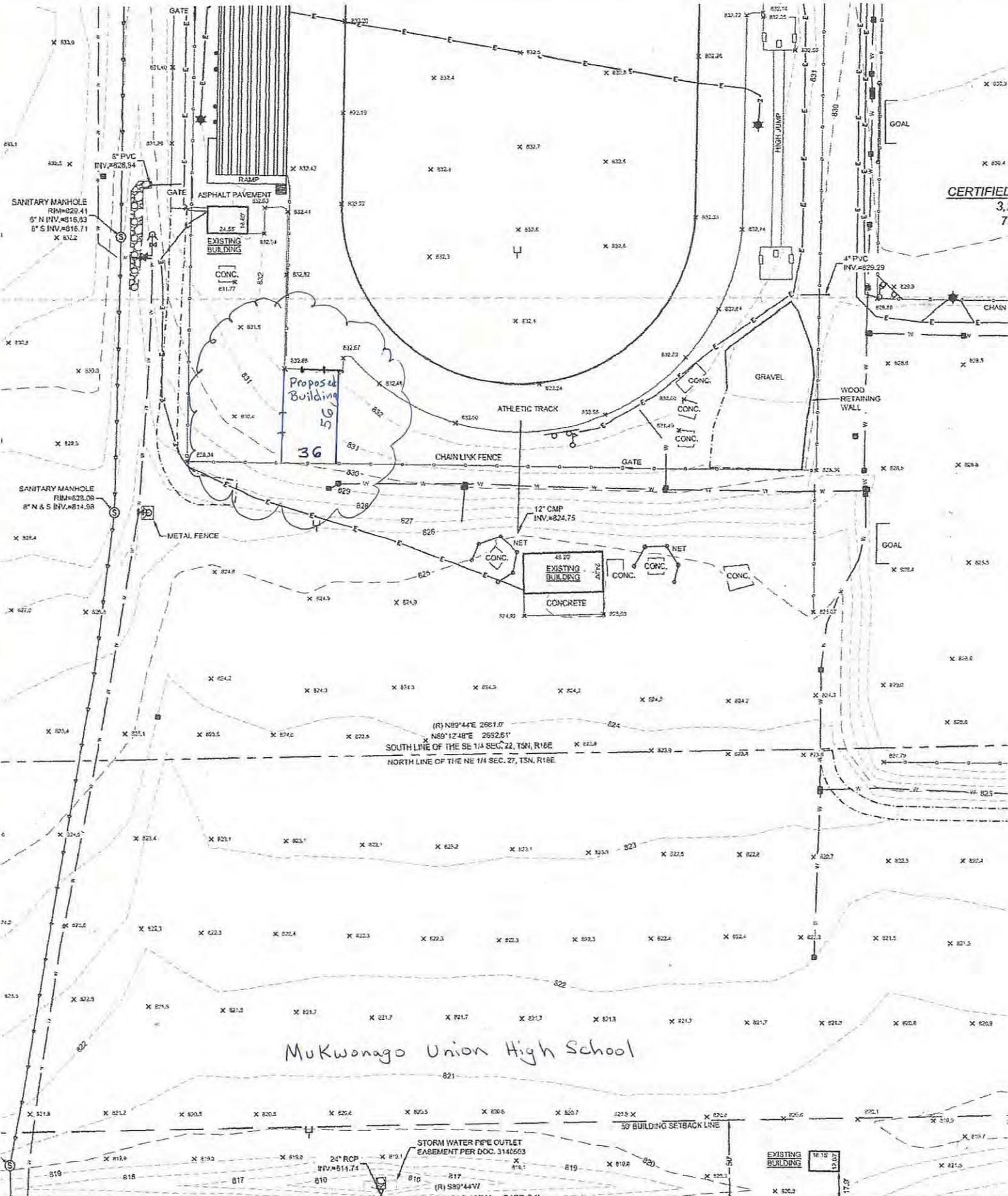
Issue Date:

Sheet Title:  
**GYMNASIUM  
 RENDERED  
 ELEVATIONS**

Sheet Number:  
**A3.G**

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CERTIFIED  
3.1  
7



Mukwonago Union High School

(R) N89°44'E 2681.0'  
X N89°12'48"E 2932.61'  
SOUTH LINE OF THE SE 1/4 SEC. 22, T5N, R16E  
NORTH LINE OF THE NE 1/4 SEC. 27, T5N, R16E

STORM WATER PIPE OUTLET  
EASEMENT PER DOC. 3140563  
24" RCP  
INV.#511.74  
(R) S89°44'W  
S69°12'48"W 2437.34'

EXISTING BUILDING  
16.18  
13.07

**SHOP DRAWING / SUBMITTAL REVIEW**

- APPROVED       APPROVE WITH CHANGES NOTED  
 REVISE AND RESUBMIT       REJECTED

SUBMITTAL WAS REVIEWED FOR DESIGN CONFORMITY AND GENERAL CONFORMANCE TO CONTRACT DOCUMENTS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOBSITE FOR TOLERANCE, CLEARANCE, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH CONTRACT DOCUMENTS

By: [Signature] Date: \_\_\_\_\_

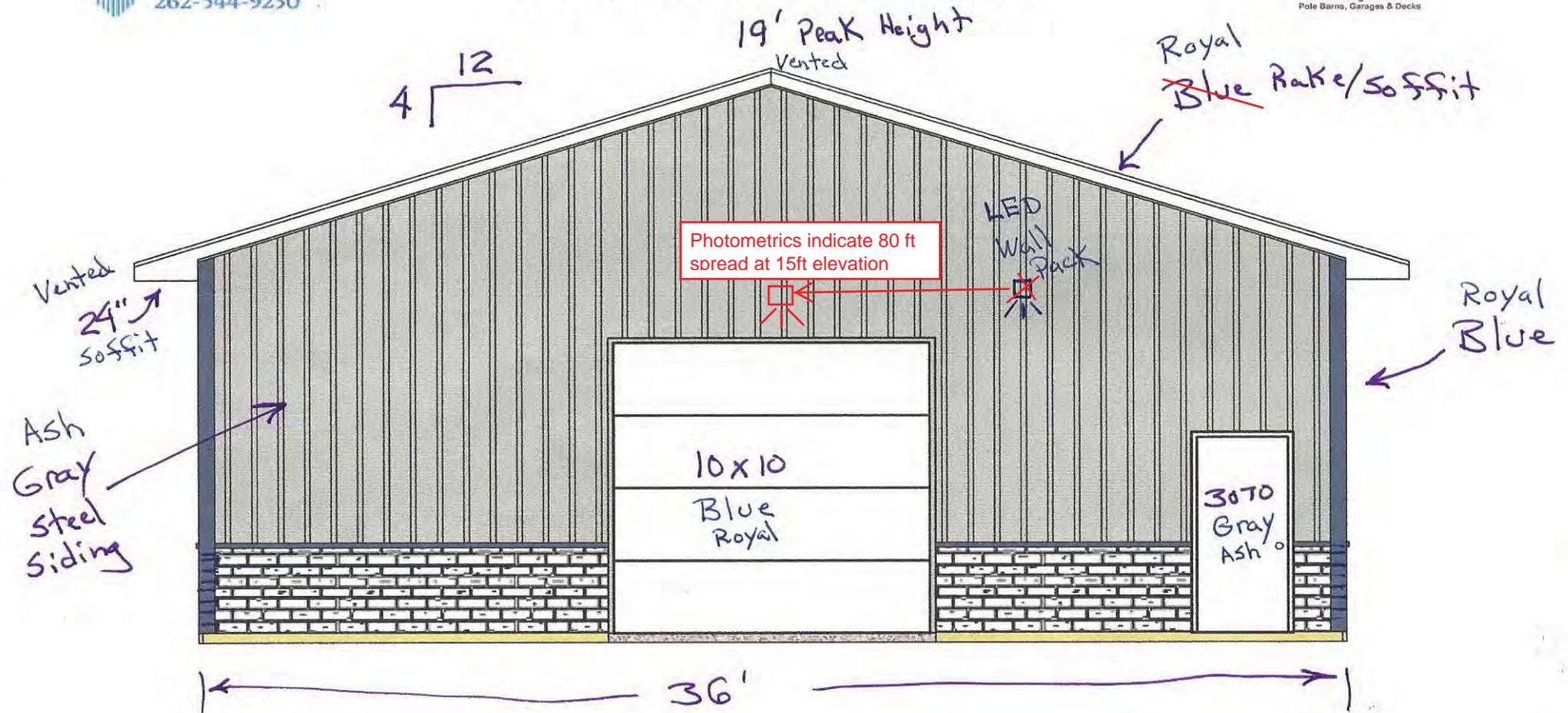
Mukwonago Area School District



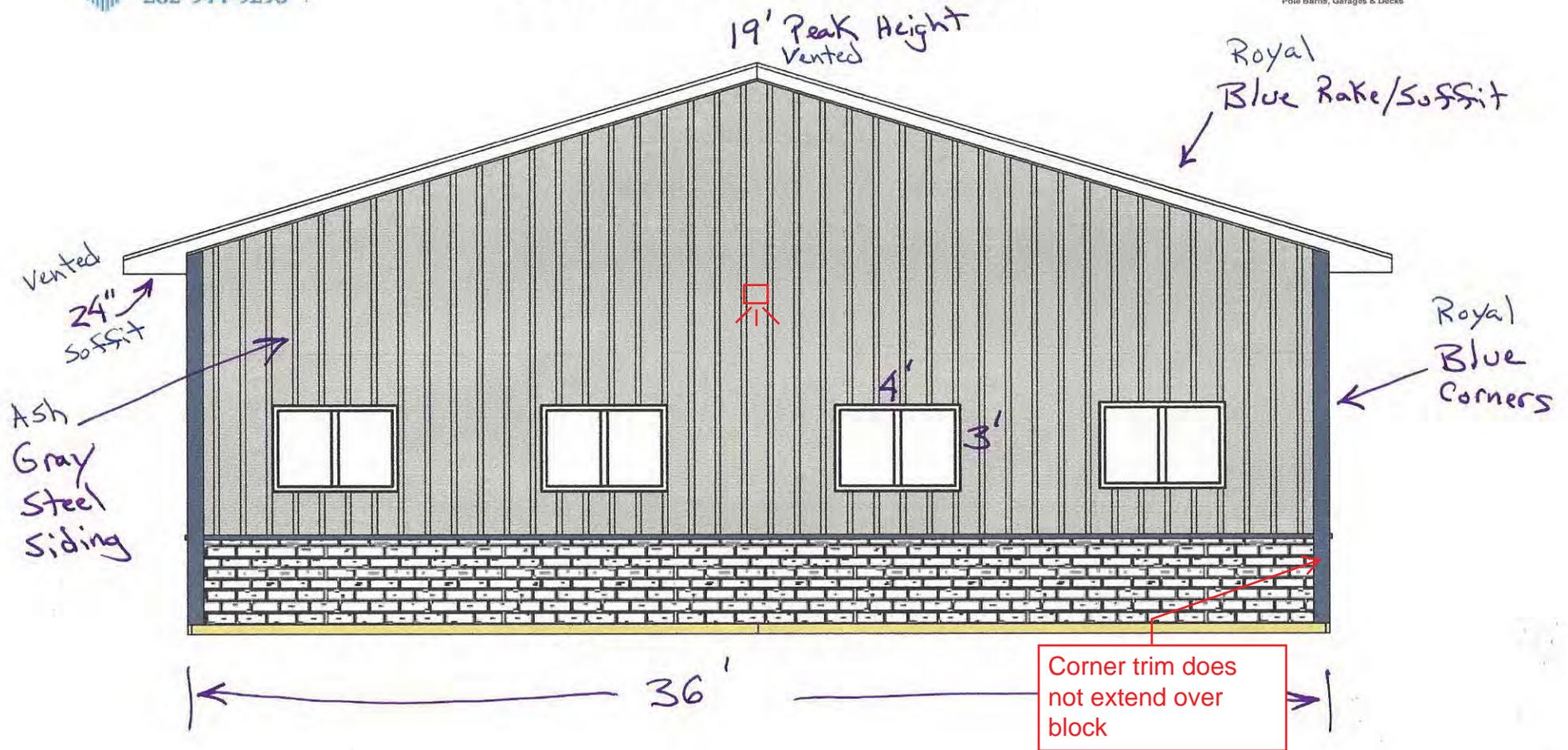
**NORTH SIDE-GABLE SIDE 1 ELEVATION**



Notes:  
 -Provide color chart for color approval.  
 -Incorporate notes on previous submittal



**SOUTH SIDE-GABLE SIDE 2 ELEVATION**



Dimensional Shingles  
to match concession stand



WEST SIDE-EAVE SIDE 2 ELEVATION

Vented

19' Peak Height

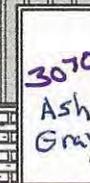
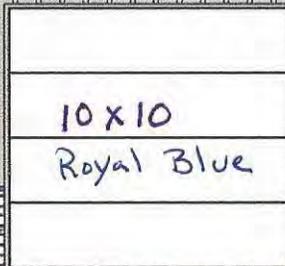
Ash  
Gray  
Steel  
Siding



~~LED  
Wall  
Pack~~



LED  
Wall  
Pack



← 20' →

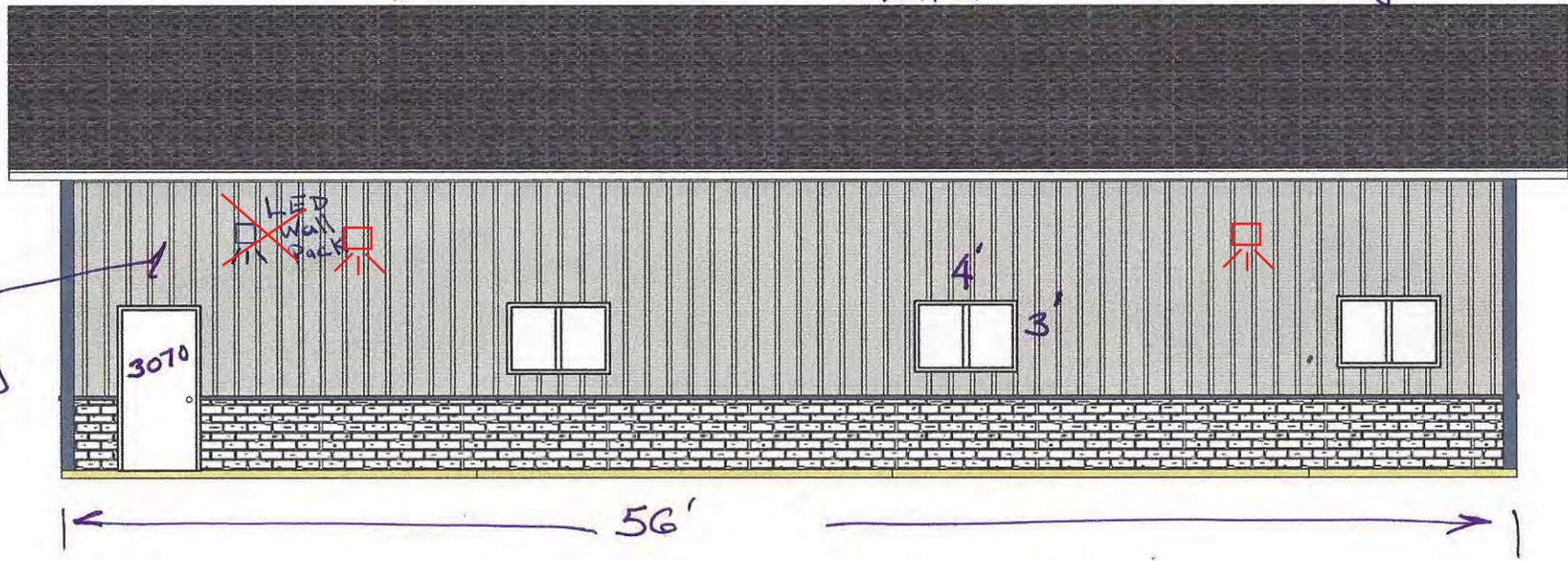
Dimensional shingle Roof  
to match concession stand

EAST SIDE-EAVE SIDE 1 ELEVATION

Vented 19' Peak Height

Ash Gray Steel Siding

Royal Blue Fascia





# Cross Section Detail

**Truss Information**  
 30-5-5 Truss loading

96 in. O.C. Spacing, Standard Heel  
 Trusses are Setting on Truss Carriers

2 x 4 Truss Seat Bracing Ran Through the Bottom Chord 8' On Center

Purlins - 2 x 4 Construction Grade - 24 in. O.C.  
 2 x 12 Top Chord  
 2 x 4 Lateral Bracing (2 Rows) - Check with Truss Company for Proper Spacing  
 2 x 8 Bottom Chord

Steel Panel  
 Brick ledge flashing

Provide stone sill cap  
 Flashing to be blue color

40" Split Faced Block

5/8" OSB w/ Tyvek wrap

4.5 x 5.25 Timber Technologies 3 Ply Corner Post  
 4.5 x 5.25 Timber Technologies 3 Ply Intermediate Posts

12 Ft.

See Wall Detail

2 x 6 Construction Grade Wall Girts (Nailers) - 24 in. O.C.

Concrete Floor is 4 in. Thick. # 3500 P.S.I Over

Siding Begins at 3 in. Below the Top of the Skirt Board

2 each 5/8" thru bolts at columns  
 Grade 5

Skirt Board - 2 x 8 Treated 1

Assumed Soil Bearing Pressure at # 3000 P.S.F.

3/8" x 4" x 4" Coated Angle

Provide engineer review of anchor spacing/method of brick ledge

Hot dipped galvanized brick ledge

Block bearing elevation to match top of slab elevation

6"  
 20"





# MUKWONAGO AREA SCHOOL DISTRICT

BUILDING BETTER  
SCHOOLS TOGETHER

385 COUNTY ROAD NN E • MUKWONAGO, WISCONSIN 53149

(262) 363-6300  
FAX (262) 363-6272  
[www.masd.k12.wi.us](http://www.masd.k12.wi.us)

July 31, 2016

Village of Mukwonago  
Attn: Bruce Kaniewski  
625 Rochester Street  
Mukwonago, WI 53149

## RE: Plan of Operation

Dear Mr. Kaniewski:

The following is a Plan of Operation as requested for the proposed storage building at the south end of the track located at the Mukwonago High School. This new 36'x56' storage structure would replace the existing 14'x22' track storage shed. The north 16' x 36' section of the building would be used to store track equipment such as hurdles, high jump pits, standards, etc. This portion of the building would be accessed through an overhead door and a 3'0" x 7'0" service door. There will be a plywood partition that separates the Braves Youth Football space. The Braves storage space will include shelves for storing football pads, uniforms and equipment for the youth program. They will have one overhead door and (2) 3'0" x 7'0" service doors to help facilitate the flow of equipment/pad check-out and return each year.

The Braves will be funding the majority of this project as they primarily play their football games at the High School and would like to have a more convenient storage area. There will be no fuel or vehicles to be stored in this area.

Thank you

Sincerely,

MUKWONAGO AREA SCHOOL DISTRICT



Curt Wiebelhaus  
Supervisor of Building and Grounds

## OVERVIEW

Replaces 100-watt pulse start metal halide (PSMH). 40-watt LED Slim Wall Pack / Flood in cool white (5000K) with 3900 delivered lumens. 5-year limited warranty.

## FEATURES

### Housing:

- Sturdy, die-cast aluminum housing
- Dark bronze polyester powder-coat finish

### Lens Assembly:

- Tempered glass lens is thermal, shock and impact resistant

### Mounting:

- Included mounting plate mounts over 4" square or octagonal junction box

### UL Listed:

- Wet locations

## RECOMMENDED USE

- Security
- Perimeter lighting
- When control of spill light is important
- Flood and uplighting with adjustable mounting accessories

## TYPICAL MOUNTING HEIGHT

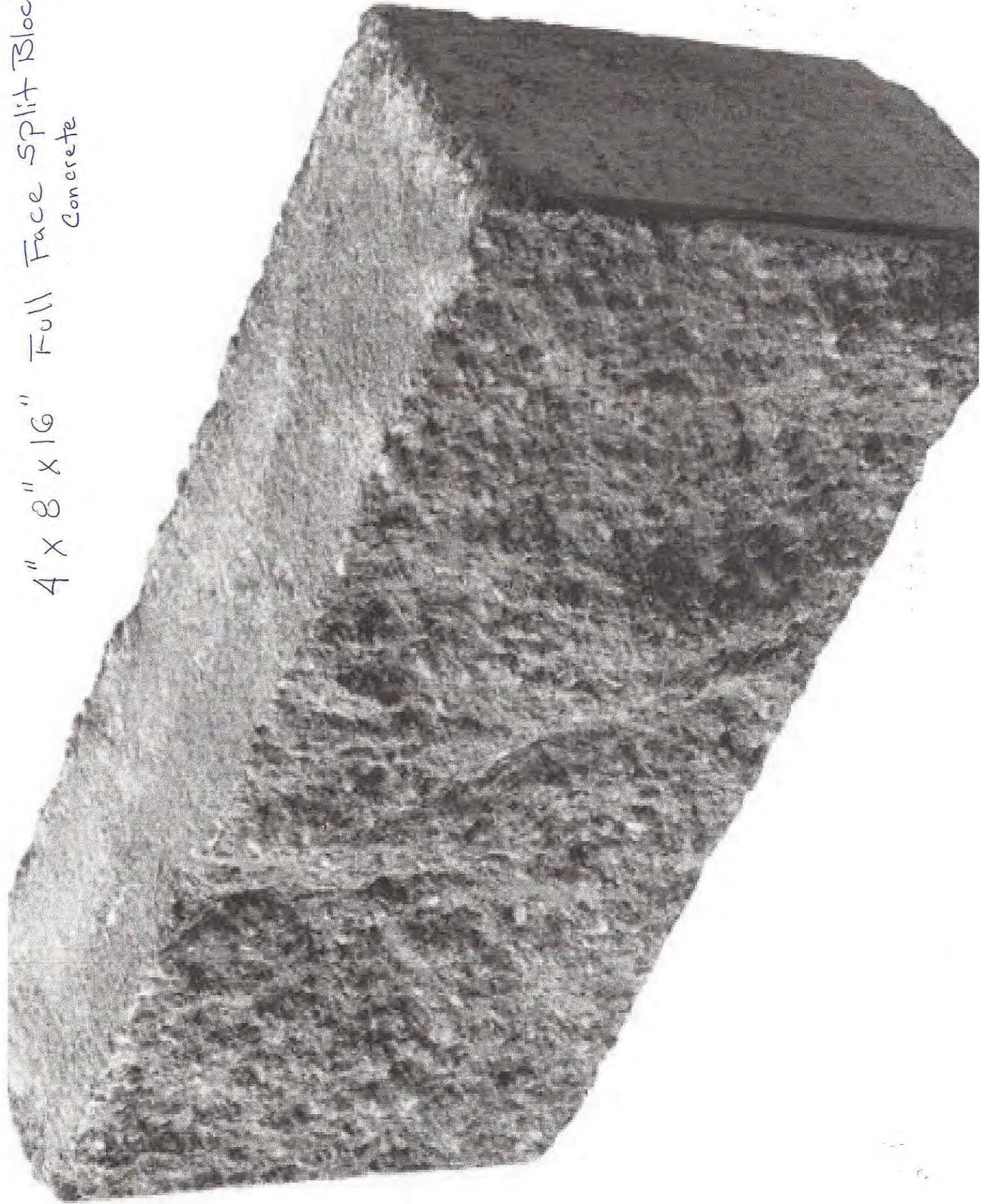
8 to 20 feet



**LED Slim Wall Pack /  
Flood (Small), 3900  
Lumens, 5000K**

SKU: E-WF1L04CZ

4" x 8" x 16" Full Face Split Block  
Concrete



The Mukwonago Fire Department has great pride in being on the forefront of emergency medicine in our county. In an effort to continue providing progressive unmatched emergency care to the citizens of our community which they expect and deserve, I'm requesting authorization to utilize \$24,575 of budgeted money for the purchase of a portable ultrasound machine. After careful research, evaluation, real world testing; along with the recommendation from our department medical director, Dr. Mark Schultz, we have decided to purchase a Terason 3200t ultrasound. It's compact, lightweight design would allow our paramedics easy and timely access for use.

Now, you may be thinking ultrasound is used for pregnant women. While this is true, ultrasound can and is being used for so much more. Ultrasound is a vastly diversified form of medical imaging that is non-invasive, painless, and does not expose the patient to an unnecessary radiation. Pre-hospital ultrasound is a cutting edge emerging trend shown to dramatically improve patient outcomes, and increase survival rates in various patient scenarios.

Examples of prehospital field applications of ultrasound include:

**eFast Exam:** Rapid bedside ultrasound screening examination that looks for free blood around the liver, spleen, heart and pelvis. This can also tell if the patient has a pneumothorax or collapsed lung. If eFast is positive it will allow the ambulance crew to notify the receiving hospital prior to arrival that surgery, blood, or additional staff is required.

**Cardiac Evaluation and Resuscitation:** Rapid bedside ultrasound screening examination that assess the contractility of the heart. Specialized prehospital resuscitation protocols using ultrasound have shown that in patients undergoing CPR, ultrasound helped prehospital providers determine the underlying cause (heart attack, blood clot in the patient's lung, fluid around the heart), tailoring the treatment to provide the patient with the best chance of survival. Ultrasound also has the ability to determine if resuscitation efforts should be terminated due to low chance of survival minimizing the exhaustion of unnecessary resources.

**Peripheral IV access:** Assists in establishing vascular access in high priority, critically ill and unstable patients who often present challenges in attaining intravenous access. Conditions associated with difficult vascular access include very young age, obesity, chronic illness, IV drug abuse, and hypovolemia to list a few.



Terason 3200T is an ultra-rugged all in one ultrasound machine. The unit comes standard with a 5 year bumper to bumper warranty. It covers manufacture defects along with accidental damage. The unit includes a charging cradle, along with all necessary software and probes.

Once the screening is completed, all video and images taken can be sent directly to the receiving ER. This allows the ER to assess additional staffing needs such as trauma surgeons, cardiologists, or interventional radiologists to be called in improving patient outcomes.

All initial and continued education will be integrated into the department's monthly paramedic & critical care training. Dr. Schultz has enlisted the help of one of his colleagues Dr. Mateer, who is considered by some to be the godfather of emergency medicine ultrasound. Dr. Mateer is currently traveling the country teaching Doctors, nurses and paramedics how to proficiently perform an ultrasound, we are lucky to have access to his knowledge.

Cost Break Down	Retail Price	\$40,250
	Quote for Demo	\$24,575
EMS recurring capital account		\$ TBD
Act 102 Account		\$ TBD
Critical Care Fund		\$ TBD

**Quotation/Purchase Agreement  
Company Confidential****Presented To:**

Lieutenant Matthew Sura, EMS, Critical Care  
Paramedic  
Lieutenant  
Village of Mukwonago Fire Department  
1111 Fox Street  
Mukwonago, WI 53149  
Tel: (262) 363-6426  
Email: msura@mukwonagofire.org

**Ship To:**

Lieutenant Matthew Sura, EMS  
Village of Mukwonago Fire Department  
1111 Fox Street  
Mukwonago, WI 53149

Date: 06/16/2016

**Presented By:** Dallan Van Laar  
Mobile: +1 6512629557  
Email: dallan.vanlaar@terason.com

**Second Ship To**

Item #	Qty.	Part #	Description	List Price	Sale Price	Total Price
1	1	21-0001	The Terason uSmart® 3200T Ultrasound System is a grab-and-go imaging solution with crystal clear images, frame rate stability, and an intuitive interface. Terason offers on-site training, easy upgrades, uConnect® remote capabilities, and technical support to protect your investment for years to come.  The uSmart 3200T Ultrasound System Package includes:			
	1	10-3232	uSmart 3200T Ultrasound Tablet 2D Digital Imaging, M-Mode, Color Doppler, Pulsed Wave Doppler, Power Doppler, Directional Power Doppler, Continuous Wave Doppler, Tissue Doppler, Tissue Harmonic Imaging, Triplex, Dynamic Depth Resolution (DDR™), exclusive Enhanced Needle Visualization (ENV), 2D Electronic Beam Steering, TeraVision™ II, OmniBeam™, TeraScape™, Zoom, Split Screen, Full Screen, Post Processing, Auto-Optimization, touch screen with Smart Gestures, USB, Ethernet, and HDMI ports, Wireless and Ethernet connection, image format in still frame or dynamic clip (BMP, JPEG, AVI, and DICOM), Solid State hard drive, application-specific presets, high-resolution AHVA LCD monitor, stereo speakers, microphone, uConnect™, and an electronic User Guide.			
	1	10-3231	uSmart 3200T Multi-Purpose Docking Station Adjustable handle, multi-position stand, 3 USB 3.0 ports, Ethernet port, DC input, and locking mechanism			
	1	10-3230	uSmart 3200T Accessories Kit Medical-grade power supply with AC cord, protective system cover, touch screen stylus, USB flash drive, uSmart 3200T shoulder bag, screen cloth, acoustic ultrasound gel, wireless keyboard			
	1	10-3293	Enhanced Needle Visualization (ENV)			



Quote No.: Q-0002861

**Quotation/Purchase Agreement  
Company Confidential**

Item #	Qty.	Part #	Description	List Price	Sale Price	Total Price
1		10-3216	4V2A uSmart Phased Array Transducer with system			
1		WTY-60	Standard 60 month warranty on the Terason Ultrasound System			
2	1	6-3203	Smart Case™ - Protective case for the uSmart 3200T			

**Total List Price: \$40,250.00**

**Special Package Price: \$20,000.00**

**Shipping Charge \$75.00**

**Total Package Price\*: \$20,075.00**

**Special Multiple-System and Demo System Pricing Valid Until Noon on 6/30/2016.**

**Option(s) (Check box to select, indicate quantity, and add to Total):**

- \_\_\_ 10-3278 5C2 uSmart Curved Array Transducer  
List Price: \$10,500.00; Price if purchased with system: \$4,500.00
- \_\_\_ 10-3289 15L4 uSmart Linear Array Transducer  
List Price: \$10,500.00; Price if purchased with system: \$4,500.00

**Total Price with Option(s): \$ \_\_\_\_\_**

Runs by Cause of Injury



Runs by Cause of Injury  
01/01/2015 to 12/31/2015



Cause of Injury	Number	Percent
Aircraft Related Accident	1	0.06%
Assault	5	0.29%
ATV Rider	2	0.12%
Bicycle Accident	1	0.06%
Bites	3	0.17%
Caught in/between Objects	1	0.06%
Chemical Poisoning	0	0.00%
Child Battering	0	0.00%
Cut/Pierce	3	0.17%
Drowning	0	0.00%

Drug Poisoning	0	0.00%
Electrocution (Non-Lightning)	0	0.00%
Excessive Cold	0	0.00%
Excessive Heat	0	0.00%
Explosion	1	0.06%
Falls	261	15.18%
Fire and Flames	0	0.00%
Firearm Assault	1	0.06%
Firearm Injury (Accidental)	0	0.00%
Firearm Self Inflicted	0	0.00%
Foreign body entering eye/orifice	0	0.00%
Hot Object/Substance	0	0.00%
Housing/Dangerous Condition	0	0.00%
Lightning	0	0.00%
Machinery Accidents	6	0.35%
Mechanical Suffocation	0	0.00%
Motor Vehicle Non-Traffic Accident	17	0.99%
Motor Vehicle Traffic Accident	83	4.83%
Motor Vehicle vs Deer	0	0.00%
Motor Vehicle vs Large Animal	0	0.00%
Motor Vehicle vs Pedestrian Accident	2	0.12%
Motorcycle Accident (E81X.1)	8	0.47%
Neglect/Malnutrition	0	0.00%
Non-Motorized Vehicle Accident (E848.0)	0	0.00%
Not Applicable	58	3.37%
Not Known	7	0.41%
Other Injury	14	0.81%
Overexertion	2	0.12%
Pedestrian Traffic Accident	0	0.00%
Radiation Exposure	0	0.00%
Radiation Exposure	0	0.00%
Sexual Assault	0	0.00%
Smoke Inhalation	0	0.00%
Snowmobile Accident	0	0.00%
Stabbing/Cutting Accidental (E986.0)	0	0.00%
Stabbing/Cutting Assault	0	0.00%
Struck by Blunt/Thrown Object (E968.2)	3	0.17%
Struck by or Against	1	0.06%
Unarmed Fight/Brawl	0	0.00%
Venomous Stings (Plants, Animals)	1	0.06%
Water Transport Accident	0	0.00%
Not Available	1238	72.02%

<b>Search Criteria</b>	
From:	01/01/2015
To:	12/31/2015



Name--Address--City, State Zip

**VILLAGE OF MUKWONAGO**  
1111 FOX ST  
MUKWONAGO, WI 53149  
CHIEF STIEN

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**Year:** 2017  
**Chassis:** Ford Type III, 158"WB, 100"  
**Type:** 3  
**Model:** 553C  
**Rev 3** Print Features **11983**

**CATEGORIES:**

- A** Chassis
- B** Body Connection Pass Thru Type
- BH** Chassis Accessories
- BL** Chassis Electrical
- C** Conversion Model
- CB** Module Body Modifications
- D** Module Body Hardware
- E** Paint and Striping
- F** Cabinet Doors, Handles and Hardware
- G** Interior Colors
- H** Interior Cabinets, Streetside
- I** Interior Cabinets, Curbside
- J** Front Wall Cabinets
- K** Interior Accessories and Trim
- L** Cot Mount, and Patient Handling
- M** Warning Systems, Visual
- MN** Warning Systems, Audible
- O** Lights, Non Emergency
- P** Electrical Power Group
- Q** Heat, Ventilation, Air conditioning
- R** Console, Radio, and communications
- T** Oxygen and Suction
- U** Lettering and Graphics
- Z** Other



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Option    Std    Oty    Header/Description/Data    Proposal Total

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**BH03B000**    1    1    **MUD FLAPS: rear**  
 Install individual rear mud flaps behind each set of rear wheels.

**BH06A000**    0    1    **WIDE DOCK BUMPERS**  
 Install wide style rear dock bumpers. Not applicable with bumper option BH11E000.

6/24/2013

**BH070000**    1    1    **REINFORCE REAR BUMPER END CAPS**  
 Reinforce end caps of rear bumper for greater impact resistance.  
 5/6/2016 A section of 2" x 2" steel angle shall be attached to the back side of the std Horton step. (Note, this option is not available on recessed or impact steps).

**BH08HE00**    0    1    **RUNNING BOARDS: EMBOSSD ALD W/STAR PUNCH**  
 Install heavy duty aluminum embossed diamond plate running boards and splash shields. Running boards are to be star punched for enhanced drain and foot grip.

7/21/2016

**BH110000**    1    1    **REAR STEP/ BUMPER ASSEMBLY**  
 The center section of the rear step bumper shall be constructed of aluminum grip strut and be hinged to assist in patient handling.  
 7/21/2016 !!! APPLY RUSTPROOFING TO ALL EXPOSED STEEL BUMPER MOUNTING COMPONENTS. (I.E., "L" SHAPED REINFORCEMENT BAR) AFTER ASSEMBLY.  
 !!! ADD STEP HANGER .25" REINFORCEMENT PLATES

**BH34A000**    0    1    **FRONT STABILIZER: ROADMASTER**  
 Install Roadmaster front stabilizer bar

5/10/2013

**BL070000**    1    1    **BATTERIES, STANDARD ON TYPE III CHASSIS**  
 (2) batteries shall be installed in the specified battery compartment on a pull out tray.

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**BL26B000 1 1 BACKUP ALARM RESET**

Backup alarm to automatically reset to on if alarm was manually canceled using the control panel alarm cut-off switch (FL25) during previous use.

**BL32A000 1 1 OEM AM/FM/CD PLAYER SHALL BE PROVIDED BY THE OEM MANUFACTURER**

OEM AM/FM/CD player shall be provided by the OEM manufacturer on all Horton supplied chassis.

*Note: This option applies only to chassis supplied by Horton. Chassis supplied by either the customer or the dealer must be ordered with this feature from the chassis OEM.*

**C CONVERSIONS**

**CA580000 0 1 CONVERSION MODEL: 553C Type III SUPER DUTY E-450:**

MINIMUM BODY DIMENSIONS:

(Exterior)

-Height: 89"  
 -Width: 96"  
 -Length: 169"

(Interior)

-Height: 72"  
 -Aisle 20"  
 -Width: 20" (from edge of cot in wall position to squad bench riser)  
 -Length: 165"

OVERALL DIMENSIONS (Including Chassis, Module and Step):

-Height: 112" (to top of vent)  
 -Width: 100"  
 -Length: 268.5"

6/28/2013 !!! VEHICLE TO BE BUILT WITH 74" HEADROOM.

**CA580001 1 1 553C STREETSIDE FORWARD:**

Clear Door Opening: 18.2" wide x 79.1" high  
 Actual Dimension: 22.0" wide x 82.1" high x 20.3"  
 This area shall be accessed through a single outside hinged door.  
 The compartment shall house the vehicle's primary O2 cylinder. The compartment shall be vented to the outside.

**0 1 SWEEP OUT COMPARTMENT FLOOR MODIFICATION**

cb03so00 Compartment floor is to be sweep-out style.

5/13/2013 !!! FLOOR TO BE FLAT ALUMINUM WITH DA FINISH.



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dr08lf00	0	<p><b>1 FIXED SHELF FOR LED LIGHTED VERTICAL COMPARTMENT</b></p> <p>Install a fixed diamond plate shelf using (4) cast shelf brackets, (2) for right wall, (2) for left wall. Install cast brackets directly to the compartment walls. Install shelf in the following location.</p> <p>7/21/2016 <i>Locate: JUST ABOVE THE O2 ACCESS DOOR</i></p>	
dr11a000	0	<p><b>1 DIVIDER FIXED, VERTICAL COMPARTMENT</b></p> <p>Install a 16" deep fixed vertical divider shall be installed in the location listed below. (Divider material is to match the compartment material)</p> <p>7/26/2016 <i>LOCATE: 11.5" FROM RIGHT COMPARTMENT WALL.</i></p> <p><i>!!! Run to the bottom of the fixed self above the O2 access</i></p>	
CA580002	1	<p><b>1 553C STREETSIDE INTERMEDIATE:</b></p> <p>Clear Door Opening: 49.2" wide x 26.3" high            Actual Dimension: 51.5" wide x 29.5" high x 20.3"            This area shall be accessed through double, outside hinged doors. Both doors shall have exterior door handles and latching devices.</p> <p>5/16/2016 <i>THIS COMPARTMENT CONTAINS THE VEHICLE'S POWER DISTRIBUTION BOX. THE CLOSEOUT FOR THIS BOX SHALL BE FULL-HEIGHT AND SHALL EXTEND APPROXIMATELY 6" FROM THE LEFT- HAND WALL.</i></p>	
dr09lb00	0	<p><b>1 SHELF FOR LED LIGHTED DOUBLE DOOR COMPARTMENT</b></p> <p>A diamond plate adjustable shelf shall be installed in the area listed below.</p> <p>5/16/2016 <i>Locate: CENTERED IN COMPARTMENT.</i></p> <p><i>!!! BETWEEN THE PD BOX AND THE DIVIDER</i></p>	
dr11c000	0	<p><b>1 DIVIDER FOR PROTECTION OF ELECTRICAL EQUIPMENT</b></p> <p>A vertical divider shall be installed to isolate the electrical equipment from the remainder of storage in the compartment.</p> <p>7/26/2016 <i>Locate: 13" FROM RIGHTHAND WALL</i></p>	
dr11ca00	0	<p><b>1 EXPANDED METAL CAGE FOR PROTECTION OF EQUIPMENT</b></p> <p>Install an expanded metal cage around the onboard electrical equipment per location noted below. Include access ports to equipment with grip lock around the edges of the openings.</p> <p>5/9/2016 <i>Locate: RIGHT SIDE OF THE STREETSIDE INTERMEDIATE COMPARTMENT.</i></p>	
CA580004	1	<p><b>1 553C STREETSIDE REAR:</b></p> <p>Clear Door Opening: 32.0" wide x 54.3" high            Actual Dimension: 37.4" wide x 57.5" high x 20.3"            This area shall be accessed through double, outside hinged doors. Both doors shall have exterior door handles and latching devices.</p> <p>7/28/2016 <i>NOTCH TO MAKE ROOM FOR THE INTERIOR 8" DEEP X 26" HIGH CABINET.</i></p>	

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dr09lb00	0	1	<b>SHELF FOR LED LIGHTED DOUBLE DOOR COMPARTMENT</b> A diamond plate adjustable shelf shall be installed in the area listed below. 7/21/2016 Locate: BASE OF THE NOTCH IN COMPARTMENT.	
dr10e000	0	2	<b>EXTRUDED ALUMINUM "C" CHANNEL, ADDITIONAL</b> Additional section of aluminum "C" channel shall be installed on the designated compartment walls. Standard tool boards require two C-channels. 7/21/2016 Location: BACK WALL FOR DEALER INSTALLED (CUSTOMER SUPPLIED SCBA BRACKETS)	
CA580005	1	1	<b>553C CURBSIDE REAR:</b> Clear Door Opening: 22.1" wide x 79.1" high Actual Dimension: 26.2" wide x 82.1" high x 20.3" This area shall be accessed through a single outside hinged door.	
cb03so00	0	1	<b>SWEEP OUT COMPARTMENT FLOOR MODIFICATION</b> Compartment floor is to be sweep-out style. 5/13/2013 !!! FLOOR TO BE FLAT ALUMINUM WITH DA FINISH.	
dr08lf00	0	1	<b>FIXED SHELF FOR LED LIGHTED VERTICAL COMPARTMENT</b> Install a fixed diamond plate shelf using (4) cast shelf brackets, (2) for right wall, (2) for left wall. Install cast brackets directly to the compartment walls. Install shelf in the following location. 7/21/2016 Locate: 40" ABOVE FLOOR	
dr11a000	0	1	<b>DIVIDER FIXED, VERTICAL COMPARTMENT</b> Install a 16" deep fixed vertical divider shall be installed in the location listed below. (Divider material is to match the compartment material) 7/28/2016 16" FROM RH WALL	
dr11p000	0	1	<b>STAIR CHAIR POCKET, RECESSED</b> A pocket that is 40" high x 10" wide x 1.2" deep shall be recessed into the inner compartment door panel. The pocket shall be installed as close to the bottom and hinged side of door as possible unless otherwise specified. 10/25/2013 Locate: HINGED SIDE OF INNER DOOR PANEL.	

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**CA580006 1 1 553C CURB SIDE, FRONT:**

Clear Door Opening: upper 22.1" wide x 65.0" high  
 lower 22.1" wide x 12.6" high  
 Actual Dimension: upper 27.2" wide x 65.0" high x 28.5" deep  
 lower 27.2" wide x 12.6" high x 20.3" deep  
 This area shall be accessed through two outside hinged doors and from an opening located on the curb side forward wall. The upper area shall be primarily used for storage of customer furnished jump kits, the lower area for the storage for two batteries on a roll out tray.

7/21/2016 !!! FLOOR OF BATTERY COMPARTMENT TO BE FLAT ALUMINUM WITH DA FINISH.

**CAB93AF0 0 1 KKK-A-1822F CERTIFICATION LABEL**

The vehicle shall have weight/payload, electrical load and KKK-A-1822F certification stickers installed in the O2 compartment.

6/24/2013

CB	BODY MODIFICATIONS/OPTIONS		
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**CB030000 0 2 MODULE HEAD ROOM, INCREASE FROM STANDARD, per inch**

The standard module body headroom shall be increased from standard per the quantity listed below. The quantity represents inches and must be in increments of 2".

5/16/2016 Headroom Required: 74"  
 DO NOT RAISE THE CURB SIDE ENTRY DOOR HEIGHT DUE TO GLOVE BOXES  
 !!! DOES NOT APPLY TO REAR DOORS

**CB06SW00 0 1 DOUBLE STEP CURBSIDE ENTRY, 3"**

The curbside skirt, forward of the rear wheel well shall be dropped 3 inches. Two integral ALD steps within the side patient door step well shall be available upon opening the side door for easier and lower access to the patient compartment.

6/28/2013

**CB09SA00 1 1 PATIENT AREA SOUND PROOFING/ACOUSTIC ENHANCEMENT PACKAGE**

Install standard sound control package.

**CBSP0002 0 1 SPECIAL INSTRUCTION, BODY MODIFICATIONS**

7/28/2016 !!! CURBSIDE HANGER TO HAVE ADDITIONAL REINFORCEMENT PLATE.

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**CBSP0003 0 1 SPECIAL INSTRUCTION, BODY MODIFICATIONS**

7/28/2016 !!! KEEP CURBSIDE DOOR HEIGHT AT REG HEIGHT DUE TO GLOVES OVER DOOR

**D MODULE BODY HARDWARE**

**DG05C100 0 1 PRIVACY WINDOWS, REAR MODULE BODY ENTRY DOORS**

The rear module entry doors shall have solid windows. The windows shall have dark privacy glass. The windows shall meet FMVSS glazing standards. No films are to be used.

4/11/2016

**DG06C200 0 1 PRIVACY WINDOW, SLIDING FOR SIDE ENTRY DOOR**

The side entry door shall have a sliding window. The window shall have dark privacy glass. The window shall meet FMVSS glazing standards. No films are to be used.

4/11/2016

**DG080000 1 1 EMERGENCY DOOR RELEASE MECHANISM, REAR DOORS**

Install standard emergency release knobs on top and bottom of rear module entrance doors.

**DG08A000 1 1 DOOR HANDLES**

Install Tri-Mark free floating style door handles with pre-stretched stainless steel cables. Include three piece interior door panels on all access doors.

**DH000000 1 1 Vi-Tech body mounts**

Install standard Vi-Tech body mounts.

**DH030000 0 1 STAINLESS STEEL SPLASH SHIELDS**

Install brushed stainless splash shields on the lower front face of the body just behind the cab access doors. These splash shields are to be the same height as the diamond plate front corner guards.

5/14/2013 Note: Check option OL41B000 for running board light pre-punches.

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- |          |   |   |   |  |
|----------|---|---|---|--|
| DH040000 | 1 | 1 | <b>MODULE BODY FENDERS: stainless steel</b><br>Rear wheel housings shall have stainless steel flare skirts to protect the wheel house opening and side body finish.   |  |
| DH060000 | 0 | 1 | <b>RUB RAILS, C-Channel</b><br>The lower body rub rails shall be C-channel type ILOS.<br><br>4/11/2016  |  |
| DH100000 | 0 | 4 | <b>STAINLESS COMPARTMENT SILL PLATES:</b><br>Stainless steel compartment sill plates shall be installed as noted below.<br>(Pricing is per compartment)<br><br>7/21/2016 <i>Locate: ALL COMPARTMENTS EXCEPT BATTERY COMPARTMENT.</i>  |  |
| DH120000 | 0 | 1 | <b>EXTENDED DIAMOND PLATE CORNER GUARDS</b><br>Install extended diamond plate corner guards that extend to the bottom of the paint stripe or pin stripe which ever is applicable.<br><br>5/16/2016 <i>SIZE: 30"H ON CURBSIDE 27" STREET SIDE FRONT OF BODY</i>  |  |
| DH330000 | 1 | 1 | <b>REAR DOOR HOLD OPENS, GRABBER</b><br>Install chrome Cast Products "Grabber" style rear door hold opens.<br>(NOTE: HOLD OPENS MUST BE RELOCATED IF TELESCOPIC LIGHTS ARE ORDERED)   |  |
| DL480000 | 0 | 1 | <b>ELECTRIC DOOR LOCKS: compartment</b><br>Install power activated door locks on all exterior compartment doors. Locks to be activated by a switch at each patient area access door. Locks may be overridden by a door key. A separate lock switch will be located in the front radio console if option DL48D000 (wired to OEM locks) is not selected.<br><br>5/10/2013   |  |
| DL48A000 | 1 | 1 | <b>ELECTRIC DOOR LOCKS: access doors</b><br>Install power activated door locks on all patient area access doors. Locks to be activated by a switch at each patient area door, and controlled with the access door locks. Locks may be overridden by a manual slide lever or by the door key. A separate lock switch will be located in the front radio console if option DL48D000 (wired to OEM locks) is not selected. |  |



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ED010000 1 1 **CHASSIS PAINT: standard white**  
 Chassis color to be standard white.  
 7/15/2016 !!! CHASSIS TO BE ORDERED IN OEM RACE RED

ED050000 0 1 **MODULE PAINT: other color**  
 Paint MODULE special color  
 7/28/2016 Paint Color: OEM RACE RED  
 Paint Number: CROSS MATCHED TO SIKKENS EQUIVALENT MATCH OEM CHASSIS COLOR

ED5D0000 0 1 **SCOTCHLITE CHEVRONS-ENTIRE REAR**  
 Install Scotchlite chevron striping on the entire rear of the body inboard of the corner posts and below the upper driprail.  
 7/15/2016 Colors: 3M RUBY RED AND 3M BLACK

<b>F</b>	<b>INTERIOR CABINET DOORS, HANDLES &amp; HARDWARE</b>
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FE010000 1 1 **FULL HEIGHT PULL HANDLES ON SLIDING PLEXIGLAS DOORS**  
 All sliding cabinet doors to have full length pull handles.

FE01FT00 1 1 **LATCH, HINGED DOOR: Southco flush stainless steel pull style**  
 Install stainless flush mount Southco pull latches on the hinged interior cabinet doors.  
 10/25/2013

FE01FU00 0 5 **LATCH, HINGED DOOR: Southco flush stainless steel pull style, HD LOCKING**  
 Install stainless flush mount Southco pull latches on the hinged interior cabinet doors. Latches requiring locks to be heavy duty type with large keys.  
 7/15/2016 LOCATE: ELECTRONICS CABINET  
 ALS CABINET DOORS

FE02A000 1 1 **PLEXIGLAS COLOR: light tint**  
 All Plexiglas doors to be light tint.  
 5/10/2016

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**FE060000 1 1 STAINLESS STEEL COUNTER TOPS (STANDARD)**

Stainless steel pan formed counter tops shall be installed in the patient area.

5/16/2016 COUNTERTOPS TO BE REINFORCED FOR DEALER INSTALLATION OF AVONITE COUNTERTOPS

**FE08ST00 1 1 INHALATION PANEL (STANDARD):**

The inhalation panel is to be fabricated from composite material and covered with Formica to match to color selected.

5/12/2016 CG TECH COVERED

<b>G</b>	<b>INTERIOR COLORS, UPHOLSTERY AND SEATING</b>
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**GF01CG00 0 1 INTERIOR COLOR SCHEME: CG TECH**

The patient area walls, inner door panels and inhalation panel are to be finished with CG Tech material. Install brushed stainless risers and lower door panels.

4/14/2016 Color: Silver Metallic

**GF01R000 0 1 INTERIOR COLOR SCHEME: Custom**

Interior colors are as follows:

7/15/2016 FLOOR: LONCOIN RIDGELINE SMOKEY BLACK 801  
 RISER: STAINLESS STEEL  
 WALLS: SILVER CG TECH (GRAY COMPOSITE)  
 CABINET: GRAY COMPOSITE AND FASHION GREY PAINT  
 UPHOLSTERY: EVS DESERT ROSE.

**GF01S000 0 1 CUSTOM FLOOR:**

A non standard/stocking floor material is desired.

7/15/2016 Type: RIDGELINE  
 Color: 801SMOKEY BLACK

Note: Option applies to changeovers only when option #GF00000C is selected.

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**GF01V000 0 1 VACUFORMED UPHOLSTERY:**

All seat cushions including head and back cushions are to be vacuformed style. Cushions are to be installed with Velcro around the full perimeter of the cushion. All closeouts are to be covered with matching material and installed per standard. Head, backrest and HOPS cushions are to be made and attached per standard.

5/16/2016 Note: Does not include bucket seats. See below for bucket seat information.

!!! INCLUDE ATTENDANTS SEAT

**GF02M000 1 1 INSIDE CABINET FINISH: paint**

The interior of all aluminum cabinets shall have a durable paint finish. The painted surface shall be washable and non-absorbent. See the appropriate Interior Color Scheme option for paint color information.

12/13/2013 !!! FASHION GRAY PAINT - SMOOTH FINISH ILO TEXTURED.

**GF02P000 1 1 RISERS:**

The interior of this vehicle is to contain no wood or wood products. The risers are to be made of reinforced structural composite board covered with Formica per the color description. Formica will not be installed on the risers if stainless steel riser options are selected.

Note: Riser thickness to be modified if option #PL27CP00 is ordered.

**GF030000 0 1 STAINLESS STEEL RISER, cabinet wall**

Install stainless steel on cabinet wall riser. If a cabinet riser accent stripe is ordered the stainless steel will stop at the bottom edge of the stripe.

4/14/2016

**GF03A000 0 1 STAINLESS STEEL RISER, bench wall**

Install stainless steel on squad bench riser.

4/14/2016

**GF03C000 0 1 STAINLESS STEEL LOWER DOOR PANELS**

Finish lower section of inside patient compartment doors with stainless steel. If an interior accent stripe is ordered the stainless is to stop at the bottom of the stripe.

7/25/2016

!!! LOWER PANEL OF C/S ENTRY DOOR TO EXTEND UPWARD SO NO CG TECH IS EXPOSED







VILLAGE OF MUKWONAGO  
 1111 FOX ST  
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 CHIEF STIEN



# Selected Feature List 11983

Year: 2017  
 Chassis: Ford Type III, 158"WB, 100"  
 Model: 553C

Option	Std	Oty	Header/Description/Data	Proposal Total
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- |          |   |   |  |  |
|----------|---|---|--|--|
| IA200000 | 1 | 1 | <b>SQUAD BENCH STORAGE:</b><br>Storage shall be provided under the bench cushions. The area shall run where possible under the bench. The storage pan shall be fabricated from aluminum and shall be accessed by raising the split cushions.<br><br>7/28/2016 !!! HEIGHT OF THE SQUAD BENCH TO BE RAISED TO 23" ILOS<br><br>!!! NOTE O2 OUTLET ON WALL AT HEAD OF BENCH. RED SLIDERS AT THE HEAD OF THE BENCH TO HOUSE SHARPS AND WASTE. |  |
| ig05f000 | 0 | 1 | <b>SQUAD BENCH: DELETE CUPS AND WELLS</b><br>A 22" wide x 72" long bench cushion shall be provided on the curb side of the patient area. The cushion shall be split. No provisions for stretcher cups and wells are provided.<br><br>5/13/2013 !!! SQUAD BENCH OVERHANG TO BE .500".   |  |
| IG070110 | 1 | 1 | <b>SQUAD BENCH END RESTRAINT FOR USE WITH HOPS</b><br>Install a restraint that is 16" above the seating surface at the head end of the bench. Standard for use in conjunction with HOPPS 3-point seat belts.<br><br>7/25/2016 DWG #105078  |  |
| IG10A000 | 1 | 1 | <b>BENCH HOLD OPENS: gas</b><br>Install gas spring hold opens on squad bench lid.  |  |
| IG10Q000 | 1 | 1 | <b>BENCH HOLD-DOWN: paddle latches (Pair)</b><br>Install recessed paddle latches into the squad bench riser to retain the squad bench lids in the closed position. The latches shall be both passive and positive.<br><br>5/12/2016  |  |
| IG15B000 | 1 | 1 | <b>BENCH BACK CUSHION: full size</b><br>Delete individual squad bench back cushions. Install full size cushion.  |  |

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<b>IK280000</b>	0	1	<b>PASS THROUGH ACCESS TO THE CURBSIDE REAR COMPARTMENT</b> Inside/outside access to the curbside rear compartment shall be provided as described. Width is to be determined by the location of any exterior divider and the height shall start 41" from the exterior compartment floor to interior closeout unless noted otherwise below.  7/28/2016 Size: TO ACCESS ALL SHELF AND ALL AREAS ABOVE IN EXTERIOR COMPARTMENT. Door style: CONTINUOUS HINGED SOLID CG TECH COVERED WITH TRIMMED EDGES	
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<b>IK29A000</b>	0	1	<b>GLOVE STORAGE ABOVE SIDE ENTRY DOOR</b> Install recessed storage above the side access door for two (2) boxes of gloves. Provide oval openings in a hinged padded and upholstered door for glove access.  Note: Reduce the height of the front wall cabinet 1.00" to accommodate this option.  7/25/2016 Glove box size: STANDARD FOR (3) GLOVE BOXES	
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<b>ISP00001</b>	0	1	<b>SPECIAL INSTRUCTION, CURBSIDE CABINERY</b>  7/25/2016 !!! INSTALL AN ALUMINUM SHARPS/WASTE CABINET AT THE HEAD OF THE BENCH TO HAVE SLIDING RED LAMINATE COVERED ALUMINUM DOORS IN A LIFT UP FRAME FOR ACCESS TO CONTAINERS. TOP OF CABINET TO BE EVEN WITH TOP OF BENCH CUSHIONS. INSTALL HINGE ON LEFT-HAND SIDE OF LID TO OPEN TOWARD BOLSTER. !!! SET UP FOR (2) 8970 CONTAINERS, (1) TO HAVE LID REMOVED FOR USE AS A WASTE.	
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<b>J</b>	<b>INTERIOR CABINETS, FRONT</b>			
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<b>JAK03DP0</b>	0	1	<b>FRONT WALL CABINET, DIAMOND PLATE INTERIOR:</b> The front wall cabinet shall be constructed of aluminum diamond plate instead of flat painted aluminum. All shelves in the cabinet shall also be made of diamond plate.  7/28/2016 !!! RIGHT FRONT WALL CABINET TO HAVE (3) SECTIONS.  !!! UPPER PORTION TO BE 36" HIGH WITH (2) ADJUSTABLE SHELVES AND (2) SOLID CG TECH DOOR WITH PLEXI INSERTS  !!! MIDDLE PORTION TO BE PULL OUT DRAWER AT 7.5" HIGH ID DRAWER  !!! LOWER PORTION TO BE 20" HIGH AND INCLUDE (2) SOLID DOORS WITH NON-LOCKING FLUSH PULL-RING LATCHES.  !!! ALL DOORS TO HAVE HD LOCKING LATCHES	
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**JE050000 0 2 DOOR, SOLID HINGED FORMICA:**

The hinged cabinet door shall be solid construction and Formica covered.

7/28/2016 Type: SOLID FORMICA WITH LOCKING FLUSH PULL-RING LATCHES.  
 Locate: (2) BOTTOM SECTION OF RIGHT FRONT WALL CABINET.

!!! DOORS TO BE INSTALLED WITH FULL LENGTH PIANO HINGES.

**JE05P100 0 2 DOOR, SOLID HINGED FORMICA: with Plexiglas insert**

The hinged cabinet door shall be solid framed, Formica covered, and include a Plexiglas insert centered in the door.

7/28/2016 TYPE: SOLID CG TECH  
 LOCATE: (2) UPPER SECTION OF FRONT WALL CABINET.

!!! DOORS TO BE INSTALLED WITH FULL LENGTH PIANO HINGES.

**JK040000 0 1 PULL OUT DRAWER IN FRONT WALL CABINET**

A pull out drawer will be installed in the front wall cabinet.

7/25/2016 Size:7.5" HIGH ABOVE LOWER CABINET DRAWERS TO BE TRIMMED TO MATCH UPPER AND LOWER CABINET

**JK130000 1 1 CAB TO MODULE WALKTHROUGH DOOR, HINGED**

Install a recessed hinged front cabin closeout door on the right front compartment wall.

7/25/2016

**K MODULE INTERIOR ACCESSORIES AND TRIM**

**KG02B000 2 2 IV HANGER, CAST PRODUCTS WITH RUBBER ARM**

Cast products recessed IV hangers with rubber arms for attaching solution bags shall be installed in the designated locations.

5/12/2016 Locate: PER DRAWING  
 !!! NOTE, ADDITIONAL CEILING PLATE IS REQUIRED FOR BENCH SIDE HANGER.

**KG09B000 1 1 CEILING GRAB RAIL: standard (2) 2ft rails or (1) 6ft rail anti-microbial**

Cabinet wall "A" will have (1) 6' rail over cot as standard.  
 Cabinet wall "B" will have (2) 2' rails, 1-forward and 1-to rear of CPR seat.

5/12/2016 Locate: 6' GRAB RAIL, PER DRAWING.

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- |          |   |   |   |  |
|----------|---|---|---|--|
| KG09F000 | 0 | 1 | <b>GRAB RAIL: 8ft with anti-microbial coating</b><br>Install 8 foot main grab rail with anti-microbial coating.<br>5/12/2016 Locate: PER DRAWING  |  |
| KG09I000 | 0 | 1 | <b>VERTICAL GRAB RAIL INSTALLATION, 2 FT. ANTI-MICROBIAL</b><br>Install 2' stainless steel grab rail with anti-microbial coating.<br>7/28/2016 (1) STEPWELL SIDE OF BENCH BOLSTER, ANGLED   |  |
| KG09K000 | 1 | 1 | <b>PATIENT DOOR GRAB RAILS: angled with anti-microbial coating</b><br>All patient access doors to have heavy duty angled stainless steel grab rails with smooth radius corners and flange mounting and anti-microbial coating.  |  |
| KG110000 | 1 | 1 | <b>FLOOR TRIM</b><br>Trim floor with cove molding at non rolled areas of floor.   |  |
| KG120000 | 1 | 1 | <b>CABINET TRIM</b><br>Trim all vertical and horizontal edges.  |  |
| KG16B000 | 1 | 1 | <b>CEILING MATERIAL, PLATINUM WHITE ALUMINUM COMPOSITE</b><br>The standard module ceiling material shall be platinum white aluminum composite.  |  |
| KG17A000 | 2 | 2 | <b>FIRE EXTINGUISHERS: 5lb ABC</b><br>Supply five pound fire ABC extinguisher(s). Ship loose, or identify mounting location(s).<br>5/14/2013 Locate: SHIP LOOSE.  |  |
| KSP00001 | 0 | 1 | <b>SPECIAL INSTRUCTION, INTERIOR ACCESSORIES &amp; TRIM</b><br>5/16/2016 !!! INSTALL STORAGE FOR (2) GLOVE BOXES IN CLOSE-OUT ABOVE REAR ENTRY DOORS. INCLUDE HINGE-UP PADDED LIDS WITH OVAL ACCESS OPENINGS AND BALL-CATCH LATCHES.<br>GLOVE BOX SIZE: 10.5"W X 5.5"H X 4"D (UNLESS OTHERWISE SPECIFIED) |  |







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MN09F300	0	1	<b>AIR HORNS: under bumper Ford III</b> Install (2) Buell #1061 trumpets under the front bumper recessed into the air dam valance. System to include a #16122 compressor and remote air tank. The air horns can only be activated when the vehicle is in gear.  7/25/2016 Configure: INSTALL (1) BUELL 10" (#1061) AND (1) BUELL 12" (#1062) TRUMPET BELOW BUMPER PER QVM REQUIREMENTS. INCLUDE A VELVAC #035105 (1488 CI) RESERVOIR TANK. Activate: VIA (2) CHROME SWITCHES IN FRONT CONSOLE.	
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MN35CA00	0	1	<b>SIREN, WHELEN #295SLSA1</b> A Whelen #295SLSA1 siren shall be installed.  7/25/2016 Locate: CONSOLE. ABOVE CUPHOLDERS SEE PRINTS	
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MN40A000	1	1	<b>SIREN INSTALL:</b> The siren listed above shall be supplied and mounted as defined.	
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MN45BA00	1	1	<b>SIREN SPEAKERS, C.P. 3801 FOR FORD E SERIES</b> Cast Products #SAD3801-08E35-1 & #SAP3801-08E35-1 siren speakers will be install in each outboard end of the chassis bumper.	
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MN50A000	1	1	<b>SPEAKER INSTALL: bumper</b> Speaker Selections (Bumper Installed)	
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O LIGHTS				
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OL09L000	0	1	<b>KKK SIDE BODY MARKER LIGHTS, 700 SERIES L.E.D. (PAIR)</b> Install red Whelen L.E.D. 700 series turn/marker lights on each rear side of the module body. Lights provide module body night time side lighting visibility and turning signal indication.  7/25/2016 Locate: CURBSIDE LIGHT ON REAR COMPARTMENT DOOR WITH CORRESPONDING LOCATION ON STREETSIDE.	
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0	1		<b>INVERTER: 20-1050CUL-DC W/CHARGER &amp; 20 AMP AUX POWER, MEETS KKK-F</b>	
pal02m00			A Vanner Inverter #20-1050CUL-DC with battery charger and 20 amp auxiliary power source shall be installed in the selected location. In addition an inverter status panel #LSIL and battery status panel #LSCR shall be installed. This charger and auxiliary power source conforms with KKK 1822F specification.	

7/28/2016 LOCATE: CEILING OF STREETSIDE INTERMEDIATE COMPARTMENT.

!!! INSTALL INTERIOR STATUS PANEL ON INHALATION WALL.

!!! INSTALL EXTERIOR STATUS PANEL ABOVE SHORELINE INLET.

ACTIVATE: IGNITION

PAL30A00	2	6	<b>110V INTERIOR OUTLET</b>	
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Two 110V interior outlets are provided as standard on all models. The standard locations are in the inhalation area and the wall over the squad bench. List the standard outlet locations and any deviation from the standard, plus any additional outlet locations below:

7/28/2016 Locate: (1) INHALATION AREA - LEFT CORNER.  
 (1) ABOVE REAR COUNTER - RIGHT CORNER.  
 (4) RIGHT FRONT WALL CABINET  
 (2) UPPER DOOR SECTION, UPPER RIGHT CORNER NEXT TO 12VDC OUTLET.  
 (2) CENTER SECTION, BOTTOM RIGHT CORNER.

PAL31C00	3	5	<b>INTERIOR 12VDC OUTLETS: cigarette lighter type</b>	
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12 volt outlets to use cigarette lighter style connectors.

7/28/2016 Locate: (1) INHALATION AREA, NEXT TO 110VAC OUTLET.  
 (1) RIGHT FRONT WALL CABINET  
 (1) UPPER SOLID DOOR SECTION, UPPER RIGHT CORNER NEXT TO 110VAC OUTLET.  
 Configure: BATTERY HOT.  
 (1) USB PORTS ILOS IN THE INHALATION AREA, NEXT TO 12V OUTLET. BATTERY HOT  
 (1) USB PORT ILOS IN THE FRONT CONSOLE ABOVE THE CELL PHONE CUT OUT BATTERY HOT  
 Locate: (1) UPPER REAR CABINET ABOVE REAR COUNTER FOR SMITHWORKS IV WARMER.  
 Configure: WIRE FOR USE WITH SMITHWORKS IV WARMER.



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<u>Option</u>	<u>Std</u>	<u>Oty</u>	<u>Header/Description/Data</u>	<u>Proposal Total</u>
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**PL11G000 1 1 LIGHT PROGRAMMING: park brake**

A warning shall display on the front console readout, advising to set the Parking Brake, should the modular disconnect switch be "ON" and the transmission placed in "PARK" or "NEUTRAL". It will also advise to Disengage the Parking Brake should the vehicle be placed into gear.

5/17/2013 *Configure: Wire alarm to activate with red flasher circuit.*

**PL20E000 0 1 CLOCK, INTELLITEC LED**

Install an Intellitec Time Manager clock.

5/16/2016 *Locate: CENTERED ABOVE REAR DOORS.*

**PL24T000 0 1 LAMP TIMER: programmable**

Install an electronic momentary touch timer switch where specified. The switch will enable time limited operation of the below listed lights, with the battery switch in the off position.

7/28/2016 *Locate: HEAD OF BENCH WALL.  
Light(s) Controlled: DOME LIGHTS.  
Configure: SET ELAPSED TIME FOR 15 MINUTES FOR INITIAL SET-UP.*

**PL26D000 0 1 NORCOLD REFRIGERATOR**

Install a Norcold NR740BB-H 12V refrigerator in the location noted below.

7/28/2016 *Locate:BELOW ELECTRONICS CABINET*

**PL27CA00 0 8 PATIENT CEILING DOME LIGHTS: WHELEN LED**

Install Whelen 80C0EHCR LED dome lights in the patient area ceiling per the locations listed below. The lights will have a high/low feature with the switch in the rear control panel.

7/25/2016 *SEE PRINTS*

*!!! LIGHTS TO OPERATE AT "HIGH" INTENSITY WHEN DOME TIMER IS MANUALLY ACTIVATED.  
!!! WITH BATTERY SWITCH IN "OFF POSITION, PROGRAM THE DOME LIGHTS TO ACTIVATE AT "LOW" INTENSITY WHEN A MODULE ACCESS DOOR IS OPENED. LIGHTS TO REMAIN ON FOR (5) MINUTES.  
!!! INCLUDE SEPARATE DIMMER SWITCHES FOR EACH BANK OF LIGHTS.*

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**PL29P000    0    1    PREWIRE FOR FUTURE STREAMLIGHT INSTALLATION**

Prewire shall be provided as noted below for future installation of Streamlight charger bases.

7/28/2016 QUANTITY: (1)  
LOCATE: STREESIDE REAR COMPARTMENT - RIGHT WALL  
  
BATTERY HOT

**PM110000    0    1    LIGHT PROGRAMMING: brake light**

Lower red flashing lights to operate as brake lights when not in the warning mode.

7/28/2016 Lights: WINDOW LEVEL 900 SERIES LIGHTS.  
Configure: BRAKE LIGHTS TO OVERRIDE FLASHERS.  
Note: FEATURE TO ACTIVATE REGARDLESS OF MODULE DISCONNECT STATUS.

**PSP00001    0    1    SPECIAL INSTRUCTION, ELECTRICAL POWER, PROGRAMMING**

5/16/2016 !!! REPORT LIGHT, SUPPLY AND INSTALL A TECNIQ SILHO-X 2.75" ROUND WHITE/RED COMBINATION LIGHTS (#E13-WSOR-1) UNDER UPPER FORWARD MAIN WALL CABINET TO ILLUMINATE ACTION COUNTER AREA. LIGHTS TO BE CONTROLLED BY SWITCH ON REAR CONTROL PANEL

**PSP00002    0    1    SPECIAL INSTRUCTION, ELECTRICAL POWER, PROGRAMMING**

7/28/2016 !!! ILOS STEP WELL LIGHT INSTALL A TECNIQ E06-WS00-1 ROUND LED WITH CHROME FLANGE.  
  
LOCATE: FORWARD SIDE OF STEPWELL ILOS.

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**Q    HEATING, AIR CONDITIONING AND INTERIOR ENVIRONMENT**

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**QH280000    0    1    BRUSHLESS MOTOR**

The vehicle heat/ac unit selected below is to include a brushless motor ILOS.

4/14/2016

**QH29E100    1    1    HEAT/AC SYSTEM FORD E SERIES CHASSIS**

Install a ProAir Pre-charged 12V heat/AC system below the attendant seat. Unit is to include a replaceable carbon filter at the air intake point.

5/16/2016

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**QL43N000 1 1 NFPA COMPLIANT VENTING-CAST VENTS**

Install an NFPA style venting system to include a 400cfm exhaust vent along with a static vent. Install 9.5" square polished covers on both vents per drawings.

3/10/2014

**R CAB CONSOLE AND COMMUNICATIONS**

**RJ01A000 1 1 ANTENNA COAX 1:**

An RG 58U coax shall be installed so that the ambulance conversion need not be disassembled.

9/18/2013 Exterior Termination: FRONT MODULE ROOF.  
 Interior Termination: FRONT CONSOLE.

**RJ01B000 0 1 ANTENNA COAX 2:**

Install additional antenna coax and accesses.

9/18/2013 Exterior Termination: CENTER OF MODULE ROOF.  
 Interior Termination: BEHIND DRIVER'S SEAT.

**RJ01C000 0 1 ANTENNA COAX 3:**

Install additional antenna coax and accesses.

9/18/2013 Exterior Termination: REAR CENTER OF MODULE ROOF.  
 Interior Termination: BEHIND INHALATION PANEL.

**RJ01D000 0 1 ANTENNA COAX 4:**

Install additional antenna coax and accesses.

7/15/2016 Exterior Termination: CAB ROOF.  
 Interior Termination: FRONT CONSOLE.  
 !!! INSTALL TEFLON COAX FOR USE WITH CELLULAR PHONE.

**RJ03MM00 0 4 ANTENNA: K-94 mount.**

Supply and install K-94 antenna base as designated. This option is less the antenna coax. An antenna coax option must be selected to be installed.

7/25/2016 ALL LOCATIONS



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<b>T</b>	<b>OXYGEN AND SUCTION</b>
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**TN002000   1   1   OXYGEN BOTTLE MOUNT, VERTICAL TRACK FOR QRM-V**  
 Vertical track for mounting of a QRM-V O2 bottle mount shall be welded on the back wall of the compartment in the right hand corner. The O2 bottle mount is adjustable for "M" or "H" size tanks.  
 10/25/2013 !!!   SIZE FOR "M" TANK.

**TN01MW00   1   1   OXYGEN BOTTLE, CYLINDER BRACKET: Zico**  
 Zico QRM-V oxygen bracket shall be installed.  
 6/25/2013   Locate:   STANDARD LOCATION.  
                   Tank Size:   "M".

**TN020000   0   1   OXYGEN ACCESS:**  
 A clear Plexiglas door shall be provided in the patient area wall for access to the oxygen cylinder valve. The door shall be hinged so that it swings into the oxygen cylinder storage compartment. The opening shall be trimmed with anodized aluminum edging. O.D. dimension of the access is 7" wide x 11" high.  
 10/25/2013 !!!   DOOR TO OPEN INTO PATIENT CARE AREA ILOS.   INCLUDE A SOUTHCO FLUSH PULL-RING LATCH.

**TN030000   2   2   OXYGEN OUTLETS, STANDARD**  
 Two oxygen outlets to be provided as standard and located in the inhalation panel unless relocated per option TN03RL00.

**TN03A000   0   1   OXYGEN OUTLET: additional**  
 Install additional oxygen outlet(s).  
 7/28/2016   Locate:   CURBSIDE WALL ABOVE FORWARD AREA OF SQUAD BENCH

**TN03RL00   0   1   OXYGEN OUTLET: relocate**  
 Relocate (1) of the standard action area oxygen outlets to the new location listed below.  
 7/28/2016   Locate:   ABOVE HEAD CHEST/WAIST OF COT PER DRAWING.

**TN04A000   1   1   ADAPTER TYPE: Ohio Diamond II**  
 Oxygen outlets to be Ohio Diamond II.  
 5/16/2013





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**Total Configured Cost** \$179,344.00

*Authorized Department Signature(s):* \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Sales Account Manager**

John Fischer  
john.fischer@stryker.com  
Cell: 847-989-4536  
Fax: 815-578-1679

**Remit to:**

P.O. Box 93308  
Chicago, IL 60673-3308

**End User Shipping Address**

1081182  
VILLAGE OF MUKWONAGO FIRE DEPT  
PO BOX 206  
MUKWONAGO, WI 53149

**Shipping Address**

1081182  
VILLAGE OF MUKWONAGO FIRE DEPT  
PO BOX 206  
MUKWONAGO, WI 53149

**Billing Address**

1081182  
VILLAGE OF MUKWONAGO FIRE DEPT  
PO BOX 206  
MUKWONAGO, WI 53149

Customer Contact	Ref Number	Date	PO Number	Reference Field	Quote Type
	4995576	07/07/2016	QUOTE		

Line #	Quantity	Item Description	Part #	Unit Price	Extended Price	Item Comments
1.00	1	<b>Power-PRO XT</b>	<b>6506000000</b>	<b>\$18,680.00</b>	<b>\$18,680.00</b>	
		Options				
	1	Power-PRO XT	6506000000	\$13,581.00	\$13,581.00	
	1	XPS Option	6506040000	\$1,608.00	\$1,608.00	
	1	Power-LOAD Compatible Option	6506127000	\$1,361.00	\$1,361.00	
	1	Knee-Gatch/Trendelenburg	6500082000	\$640.00	\$640.00	
	1	Steer Lock Option	6506038000	\$616.00	\$616.00	
	1	3 Stage IV Pole PR Option	6500315000	\$276.00	\$276.00	
	1	Fowler O2 Bottle Holder	6500241000	\$209.00	\$209.00	
	1	Pocketed Back Rest Pouch	6500130000	\$208.00	\$208.00	
	1	Head End Storage Flat	6500128000	\$111.00	\$111.00	
	1	Equipment Hook	6500147000	\$42.00	\$42.00	
	1	SMRT Charger Mounting Bracket	6500034000	\$28.00	\$28.00	
	1	Dual Wheel Lock	6086602010			
	1	PR Cot Retaining Post	6085033000			
	1	Power Pro Standard Components	6506026000			
	1	No Runner/HE O2	0054200994			
	1	No HE Section O2 Bottle	6506036000			
	1	English Manual	6506600000			
	1	120V AC SMRT Charging Kit	6500028000			
	1	Short Hook	6060036017			
	1	XPS Knee Gatch Bolster Matrss	6500003130			
	1	3 YR X-Frame Powertrain Wrnty	7777881669			
	1	2 Yr Bumper to Bumper Warranty	7777881670			
	1	DOM SHIP (NOT HI, AK, PR, GM)	0054030000			
	1	X-RESTRAINT PACKAGE	6500001430			
	1	STANDARD FOWLER	6506012003			

Note:  
SHIPPING IS NO CHARGE. LEAD TIME APPROX 8 WKS.

Product Total	\$18,680.00
Freight	\$0.00
Tax	\$0.00
<b>Total Incl Tax &amp; Freight</b>	<b>\$18,680.00</b>

Signature: \_\_\_\_\_ Title/Position: \_\_\_\_\_ Date: \_\_\_\_\_

**Deal Consummation:** This is a quote and not a commitment. This quote is subject to final credit, pricing, and documentation approval. Legal documentation must be signed before your equipment can be delivered. Documentation will be provided upon completion of our review process and your selection of a payment schedule.

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# 2016-2018 Strategic Directions

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## The Village of Mukwonago, Wisconsin

**Waukesha County University of Wisconsin-Extension**  
515 W Moreland Blvd AC G22  
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[www.waukeshacounty.gov/uwex/](http://www.waukeshacounty.gov/uwex/)

June, 2016



University of Wisconsin-Extension, U.S. Department of Agriculture and Wisconsin Counties cooperating.  
UW-Extension provides equal opportunities in employment and programming including Title IX and ADA.

# **Village of Mukwonago Process Report**

## Village Staff Participants

Jeff Belongia, Finance Advisor  
Ron Bittner, Public Works Supervisor  
Steven Braatz, Jr., Clerk-Treasurer  
Dave Brown, Utilities Director  
Diana Doherty, Finance Director  
Joe Hankovich, Supervisor of Inspections/Zoning Administrator  
Bruce Kaniewski, Planner  
Kevin Schmidt, Police Chief  
Jeffrey Stien, Fire Chief  
John Weidl, Administrator

## Board of Trustee Participants

Fred Winchowsky, Village President  
James Decker  
Darlene Johnson  
Kelly Klemme  
Mark Penzkover  
Jay Vermeulen  
Ken Werner

## Facilitated and Compiled By:

Jerry Braatz, Community Development Educator, UW-Extension  
Steve Chmielewski, Community Development Educator, UW-Extension

## **Introduction**

In cooperation with the Village of Mukwonago's Board of Trustees and Department Heads, Waukesha County UW-Extension facilitated two strategic planning sessions. The purpose of these sessions was for the participants to identify three to five strategic directions to build toward future opportunity and assist in budget development. These sessions brought all Village Board of Trustees and Department Heads/Staff together to help identify and build consensus around the strategic issues the Village is facing, as well as to identify and prioritize directions to help resolve them.

## **Outcomes/ UW-Extension Deliverables**

1. Waukesha County UW-Extension Community Development Educators facilitated two strategic planning meetings with Department Heads and Village Board members at Mukwonago Village Hall on May 4, 2016 and June 1, 2016.
2. Village Board and Department Heads identified Village strengths.
3. Village Board and Department Heads utilized strengths to determine three major strategic issues to guide budget development over the next three years.
4. Village Board Members explained to constituents the importance of strategic planning along with how they align with future Village budgets.
5. Participants strengthened professional relationships and teamwork building.
6. Waukesha County UW-Extension developed a strategic issues plan report based on facilitated input from the Village Board and Department Heads.

## **Overview of Process**

During the first session, participants reviewed Environmental Scan demographic data from the Village of Mukwonago, and reviewed population change among neighboring communities along I-43. A small group activity divided up Village Board of Trustees and Department Heads/Staff to identify recent successes, core strengths, and explore opportunities for the Village. Representatives from each small group reported out their discussion topics. All participants then began to frame Village issues. Participants were then asked to discuss these issues with constituents for further input.

At the second session, participants discussed their efforts to reach out to Village constituents for input on the issues identified, and shared the feedback received. Participants then grouped and clarified Strategic Issues. Three themes were then developed to support the overarching vision for a sustainable community. A consequence of no-action was then discussed recorded

for each of the themes. This framework will be used by Village Board of Trustees and Department Heads/Staff to determine objectives for the Village’s next budget cycle.

**Environmental Scan**

A key part of engaging in strategic planning is to gather and analyze important demographics. The following data sets provide a snapshot of demographics in the Village of Mukwonago that are important to understand.

The Village of Mukwonago has experienced considerable population growth over the past 45 years. In 1970, the Village had 2,367 residents and was similar in total population with the Waukesha County villages of Hartland (2,763) and Sussex (2,758). All three villages experienced rapid population growth since 1970. However, Mukwonago’s population growth between 2000 and 2015 was greater than the Village of Hartland and less than the Village of Sussex (see Table 1). During this period, Hartland gained 1,262 residents, Mukwonago grew by 1,467 residents, and Sussex increased by 1,915 residents. Between 2000 and 2015, Mukwonago experienced a 23.8% growth in population, Hartland had a 21.7% increase in population and Sussex recorded a 16% change in population.

**Table 1: Population Growth: Peer Comparison Villages in Waukesha County**

	1970	1980	1990	2000	2010	2015
<b>Hartland</b>	2,763	5,559	6,906	7,905	9,110	9,167
<b>Mukwonago</b>	2,367	4,014	4,464	6,162	7,355	7,629
<b>Sussex</b>	2,758	3,482	5,039	8,828	10,518	10,743

Source: U.S. Bureau of the Census and Wisconsin Department of Administration

**Table 2: Population Change Along Southern Segment of I-43 Corridor**

	2010	2015	Change	Percentage Change
<b>City of New Berlin</b>	39,584	40,195	611	1.5%
<b>City of Muskego</b>	24,135	24,410	275	1.1%
<b>Village of Mukwonago</b>	7,355	7,629	274	3.7%
<b>Village of East Troy</b>	4,281	4,341	60	1.4%
<b>City of Elkhorn</b>	10,084	9,924	-40	-1.6%
<b>City of Delavan</b>	8,415	8,463	-48	-0.6%
<b>Village of Darien</b>	1,693	1,698	5	0.3%
<b>Village of Clinton</b>	2,154	2,121	-33	-1.5%
<b>City of Beloit</b>	36,966	36,792	-174	-0.5%
<b>Total</b>	134,667	135,573	906	0.67%

Source: U.S. Bureau of the Census and Wisconsin Department of Administration

The completion of I-43 between Milwaukee and Beloit (Rock Freeway) in 1987 was a significant asset for economic growth in the Village of Mukwonago. Although growth slowed somewhat due to the start of the “Great Recession in 2007”, the Village of Mukwonago experienced sustainable population growth over the past five years when compared to other villages and cities along the I-43 corridor between Milwaukee and Beloit (see Table 2).

**Growth in Population Diversity**

The Village of Mukwonago’s largest minority population is Latino (see Table 3). Asians make up the second largest minority population in the community. Trends show that the Latino population will continue to grow in the community, however, at a slower rate than other areas of Waukesha County and the State of Wisconsin. Latinos tend to be very entrepreneurial and Latino business growth is an increasing trend across the state.

**Table 3: Village of Mukwonago Race and Ethnicity, 2010**

	Village of Mukwonago	Waukesha County	Wisconsin
<b>White</b>	97.4% (7,161)	93.3%	86.2%
<b>Black</b>	0.2% (18)	1.3%	6.3%
<b>American Indian</b>	0.2% (17)	0.3%	1.1%
<b>Asian</b>	0.9% (66)	2.7%	2.3%
<b>Two or More Races</b>	0.9% (64)	1.3%	1.8%
<b>Hispanic or Latino (Any Race)</b>	3.2% (234)	4.1%	5.9%

Source: U.S. Bureau of the Census

**Median Age**

The Village of Mukwonago has one of the lower median ages in Waukesha County at 37.9 years old. The median age is only slightly younger than the state (38.5 years old), but over 4 years younger than the median age for Waukesha County (42 years old). Over 18 percent of the Village’s population is between the age of 20 and 34 (see Table 4). This percentage is higher than other communities in the County.

**Educational Attainment**

Almost one in three Village of Mukwonago residents of age 25 and over have a bachelor’s degree or higher. This is lower than Waukesha County’ average, but greater than the state average (see Table 5). The Village of Mukwonago has a unique opportunity to market the fact that it has a talented workforce that is highly educated. A challenge for the Village of Mukwonago is engaging this educated population in community leadership volunteer opportunities both within Village government and with service organizations. The highly

educated population in the Village has a higher median income than the state, but is lower than the median income for Waukesha County (see Table 5).

**Table 4: Population Estimates by Age Group, 2015**

Age	Village of Mukwonago	Waukesha County	Wisconsin
0-4	5.7% (420)	5%	5.9%
5-9	6.1% (445)	6%	6.2%
10-14	7.4% (540)	7.1%	6.4%
15-19	6.7% (488)	6.7%	6.6%
20-24	6.7% (490)	5.3%	7.3%
25-34	11.8% (866)	10.3%	12.6%
35-44	12.8% (938)	12%	12.0%
45-54	16.1% (1,181)	15.8%	14%
55-64	12.2% (893)	15.4%	13.8%
65-74	8.7% (640)	9.4%	8.7%
75-84	3.5% (259)	4.8%	4.4%
85+	2.2% (161)	2.3%	2.2%

Source: ESRI Forecast for 2015

### Home Ownership

Mukwonago has a higher percentage of owner occupied homes. This demographic is consistent with communities across Waukesha County with the exception of the City of Waukesha. Mukwonago's home ownership rate percentage is about 8 percent lower than Waukesha County, but higher than the state average (see Table 5).

**Table 5: Socioeconomic Comparisons**

	Village of Mukwonago	Waukesha County	Wisconsin
Bachelor's Degree or Higher, Age 25+	30.7%	41.0%	27.4%
Median Household Income (in 2014 dollars)	\$62,124	\$76,319	\$52,738
Homeownership Rate	69.0%	76.8%	67.7%
Housing Units, April 1, 2010	3,104	160,864	2,624,358
Mean Travel Time to Work, Workers Age 16+	24.8 Minutes	24 Minutes	21.8 Minutes

Source: U. S. Bureau of the Census and American Community Survey (ACS)

## Commuting to Work Time

Mukwonago's average commute time to work of about 25 minutes is similar to the county and state. The I-43 corridor is a major asset for Village residents who commute to work in the region (see Table 5).

## Regional Labor Market

In 2014, Inflow/Outflow Job Counts by County Subdivisions showed that of all jobs in the Village of Mukwonago, 544 employees, or 12 percent of Village's labor force, who lived in the Village also worked in the Village. The remaining 88 percent of labor is imported as the majority of people employed in the Village of Mukwonago (4,658 jobs), live outside the Village of Mukwonago. The largest inflow of workers to Mukwonago was from the Town of Mukwonago, the City of Waukesha and the City of Milwaukee (see Table 6). For workers who live in the Village of Mukwonago and commute for work elsewhere, the largest numbers travel to the City of Waukesha, the City of Milwaukee, the City of Pewaukee, and the City of Brookfield (see Table 7). This workforce flow trend is similar in communities throughout the area due to a regional labor market. This trend is consistent with other communities as southeastern Wisconsin relies on a regional labor force. The key point for sharing this data is to recognize that businesses in Mukwonago are drawing employees from across the region and many residents in Mukwonago are commuting to jobs outside the community with I-43 providing excellent transportation access in the region.

**Table 6: Top Five Communities Where Workers Live who are Employed in the Village, 2014**

Community	Count	Share
Village of Mukwonago	544	11.7%
Town of Mukwonago	404	8.7%
City of Waukesha	273	5.9%
City of Milwaukee	241	5.2%
Town of Vernon	209	4.5%

Source: U.S. Census Bureau, On the Map Application, <http://onthemap.ces.census.gov>

**Table 7: Top Five Communities Where Village of Mukwonago Residents Are Employed, 2014**

Community	Count	Share
Village of Mukwonago	544	16.0%
City of Waukesha	399	11.6%
City of Milwaukee	311	9.1%
City of Pewaukee	187	5.5%
City of Brookfield	180	5.2%

Source: U.S. Census Bureau, On the Map Application, <http://onthemap.ces.census.gov>

## Business and Retail Trade

In 2012, Mukwonago had 468 businesses with 185 being women owned making up nearly 40 percent of all businesses in the Village (see Table 8). The percentage of women owned businesses in the Village was higher than the Waukesha County average, but much lower than the state average.

**Table 8: Business and Retail Sales Comparisons, 2012**

	Village of Mukwonago	Waukesha County	Wisconsin
<b>All Firms</b>	468	35,566	236,252
<b>Women-Owned Firms</b>	185 (39.5%)	10,082 (28%)	133,859 (56.7%)
<b>Total Retail Sales Per Capita</b>	\$30,860	\$16,867	\$13,656

Source: U.S. Bureau of the Census, 2012 Economic Census: Survey of Business Owners

The Village of Mukwonago had 42 retail establishments identified in 2012 economic census data. Sales to this trade area seem to capture a bigger share of spending that could indicate a larger pull factor where retail opportunities are drawing people in from outside of the Village to purchase. Big sale volumes could be a reflection of Walmart Super Center and Home Depot sales; yet more study is required to know more about the other types of retail establishments to gain a better understanding. Total sales per capita, 2012 (see Table 8), showed that the Village of Mukwonago (\$30,860) was over twice as high as Wisconsin and greater than Waukesha County. The Village of Mukwonago's Retail Sales per Capita, 2012 were also larger than the City of Brookfield (\$26,930), the City of Waukesha (\$22,580), the Village of Pewaukee (\$19,279) and the National average (\$13,443). Retail sales per capita is derived by dividing total retail sales in Mukwonago by total village population.

## Community Demographic and Economic Strengths Summary

- The Village of Mukwonago has a younger core workforce population between the ages of 20 and 34. Maintaining this core group will be crucial as baby boomers continue to retire.
- The Village of Mukwonago has a significant population that is college educated. This is important due to the fact that a growing number of jobs require associate and bachelor degrees.
- The Village is in easy commuting distance to southeastern and southcentral Wisconsin due to access to I-43.
- The Village of Mukwonago seems to have a large retail trade pull factor resulting in greater retail spending in the community.

## Recent Success Stories and Core Strengths

Participants shared the following success stories which identified past Village collaborative efforts and highlighted their collective strengths. Participants then identified how the Village Board of Trustees and Department Heads/Staff engaged in interdepartmental collaborative efforts resulting in efficiencies and improvements.

By examining the components of these efforts, participants identified dedicated staff, long term visioning and willingness to collaborate with other departments and organizations as necessary for successful results. Long term thinking was demonstrated by the Board through the strategic infrastructure layout for future growth, which also helped provide the space, direction and support for staff to discover the next possibilities. Operating strategically was also demonstrated as the Village was able to negotiate with commercial development by providing clear expectations.

Trust and shared leadership among the Village Board of Trustees and Department Heads/Staff was demonstrated and greatly appreciated in day-to-day operations. The Village maintains a high level of staff retention, and departments are interested in continuing to work together and partner with each other and with neighboring governments to achieve shared goals.

In order to identify themes, participants broke into two groups and highlighted the Village's recent successes and core strengths.

Successes identified by Group 1:

1. Sidewalk program
2. Road maintenance budget
3. 3-year agreement for engineering services
4. Multi-use trails
5. Pro-Health: Emergency Room and Cancer Center
6. Good Financial Position - Bookkeeping
7. More efficient budgeting process
8. Closed developer loopholes
9. Businesses know that government gets things done
10. Building Inspections, Fire Inspections, Ordinances
11. Succession planning and leadership roles
12. Sewer and Water Department improvements
13. Reactive = putting out fires; instead we are proactive, seeking out opportunities, no longer just reacting
14. Employees more engaged = gave empowerment of department

15. Bi-annual budget = allows flexibility
16. Have 5-year Capital Plan and stick to it

Successes identified by Group 2:

1. Staff implements policy set with mutual trust and respect
2. Added new businesses in Tax Increment District 3
3. Partnership with Pro-Health: Added 3 Fire Fighters
4. Village Board developed Economic Development Team: Responsive at outreaching to businesses in the community, working together toward Economic and business development; a willingness to proactively procure property - land purchased for development
5. Downtown Area improvements, 2012-2013: Addressed older empty buildings; used variances to rebuild and for parking; no more vacancies; healthiest since 2001; Attitude of Board improved to support use of variance
6. Operating budget restructured: Comp/salaries/benefits; remuneration system to retain valued staff; started 5-year capital improvement plan and stuck with it; created 2-year budget cycle
7. Proposal of Apartments: Increased community involvement; steering committee created; updated comprehensive plan; looking at mixed-use development
8. New refinancing of debt
9. Department efficiencies: community service officers; Committee of Whole - everyone receives information on all topics
10. Set up HWY 83 Business Park: \$10 Million business; looking at long-range, rail spurs to the west; seek counsel from outside for informed decision making; community supportive of investing
11. NN Project: County reconstructed road; Village got involved; increased water mains; acts as by-pass for the Village

Strengths identified by Group 1:

1. Community environment attracts people
2. Housing
3. YMCA
4. Festivals engage people, managed by residents
5. Build the next leaders
6. Phantom Lake = capitalize = Village purchased Lynch property = redevelopment asset
7. School System
8. Referendum passed
9. Location on HWY 83 and I-43

10. Safe community
11. We have land for development on South Side

Strengths identified by Group 2:

1. Trust and Respect
2. Teamwork
3. Leadership in Economic Development
4. Supportive Board
5. Decisiveness
6. Enthusiasm
7. Taking advantage of the location (e.g. potential for growth = residential and commercial)
8. Supportive of community
9. Board cohesiveness - not micro managed

### **Strategic Issues**

On May 4, 2016 the Village of Mukwonago Board of Trustees and Department Heads/Staff identified issues and challenges that have an anticipated need to be addressed in the next three years. These identified issues and challenges will help the team to determine and prioritize the Strategic Issues facing the Village, and develop objectives to address them.

John M. Bryson, a strategic planning specialist at the University of Minnesota, defines Strategic Issues as “fundamental policy questions or critical challenges affecting the organization’s mandates, mission and values, product or service level and mix, clients, users or payers, cost, financing, structure, processes, and management.”

Participants generated a list of Strategic Issues. Participants were then encouraged to engage constituents in discussion about the topics prior to the second session, and to consider how the topic is a strategic issue and potential consequence of no action.

The following list were the issues/challenges that the Strategic Planning Team identified. Working with these issues/challenges will help the team to define the Village of Mukwonago’s Strategic Issues.

Issues Identified:

- Personnel: How will future staff handle additional workload with growth? Concern for capacity of inspectors to handle additional development and an unbalanced staffing of Village with growth

- Prioritize Economic Development strategies. How will the Village prioritize Economic Development strategies/efforts (e.g. being flexible and handling change)
- Annexation for future growth
- Levy Limits
- Home Rule and Local Control
- Village/Town Joint Department needs review
- Efficiency: with tax levy limits, how do we become more efficient in our processes?
- Water/sewer gradual fee increases
- Development that makes sense (cents). How do we determine which developments are most beneficial for the Village?
- Comprehensive Plan = needs to provide a vision for development as well
- Greenwald parcels in Village (negotiating procurement?)
- Maintaining neighborhood code enforcement with 'vintage' areas and housing

### **2016-2018 Strategic Vision and Issues**

#### **Vision = Sustainability**

Sustainability was identified as an overarching 'vision' for the Village supported by three strategic issues of focus: Financial, Personnel, and Economic Development and Growth. Components of a sustainable Village were defined as having:

- Controlled, thoughtful and planned growth
- Quality of life
- Environment
- Quality of economic development

Consequences of No Action: Participants discussed the consequence of No Action towards sustainability of the Village, and concluded that this would affect the Village's financial position and identity that could result in the loss of residents and disinvestment in the community.

Further areas identified to address include:

- Greenwald parcels
- Annexation
- Development that makes sense
- Comprehensive plan
- Destination

## **Three Strategic Issues**

### **Issue 1 = Financial**

Participants described the Village's financial position to reflect the following:

- Healthy reserves
- Maintain high bond status
- Capital improvement plan
- Avoid shocks with steep fee increases
- Diversify revenue base
- Lean processes applied for cost savings through enhanced efficiencies

Consequences of No Action: Participants then determined that the consequence of No Action would result in the direct opposite of how they define the Village's financial position.

### **Issue 2 = Personnel**

- Sustain personnel
- Provide and maintain quality services that add value

Consequences of No Action: The Village will not be able to maintain level of services without a dedicated staff collaborating with elected officials and the public.

### **Issue 3 = Economic Development and Growth**

Participants described Economic Development to reflect the following components:

- Proactive
- Balance of residential, job growth and services
- Available infrastructure is maintained
- Support of staff and elected officials in place and working together in a team centered environment
- Partnerships with community and entities continued

Consequences of No Action: Participants discussed the consequence of No Action that the Village will face without supporting Economic Development and growth. The following results were anticipated:

- Loss of businesses
- Property value loss

- Village stagnation (if the Village is not moving forward, it will be moving backwards)

## **Conclusion and Recommendations**

With consideration of the Environmental Scan data and Strategic Issues identified, the next step for the planning team is to formulate objectives to manage the Strategic Issues and to work toward achievement of the vision of a sustainable community. We recommend that the Village considers the questions provided below. These questions/process will help focus the Village's approach to better fulfill its vision, meet mandates, achieve objectives and generate public value.

After the objectives by staff are developed, we recommend the following steps:

- Share the plan to generate internal and external stakeholder support and engagement
- Review and adopt
- Develop an effective process for implementing the plan
- Internal review and evaluation of plan on an annual basis

## **Reference**

Bryson, J. M. *Strategic Planning for Public and Nonprofit Organizations: A Guide to Strengthening and Sustaining Organizational Achievement*. (4th ed.) San Francisco: Jossey-Bass, 2011.

August 10, 2016

Mr. John Weidl  
Administrator  
Village of Mukwonago  
P.O. Box 206  
Mukwonago, WI 53149

Re: CTH NN Water Main Relay  
Reduction in Payments to Contractor

Dear Mr. Weidl:

We have completed our review of the enclosed Contractor's Application for Payment No. 3 revised and submitted on August 5, 2016 for the above project. We recommend that the current application for payment to Genesis Excavators, Inc. in the amount of \$45,409.77 be reduced to the following amount:

Description	Amount
Liquidated Damages (27 days)	\$ 28,350.00
Mukwonago Utilities unpaid invoice	\$ 391.18
<b>Total Reductions:</b>	<b>\$ 28,741.18</b>
<b>Proposed Reduced Payment to Contractor:</b>	<b>\$ 16,668.59</b>

Liquidated damages in the amount of \$1,050 per day have accrued as a result of the Contractor's failure to achieve Substantial Completion. As specified in Paragraph 4.02 of Section 00 52 00 of the Contract Documents, all Work had to be substantially completed on or before June 1, 2016. As noted in the previously submitted correspondence dated August 3, 2106, Substantial Completion was achieved on June 28, 2016, 27 days late. Therefore, based on direction from Village staff, we recommend that liquidated damages in the amount of \$28,350 be imposed from the amount due to the Contractor.

On July 1, 2016, the Contractor was notified of the invoice by the Mukwonago Utilities in the amount of \$391.18 for the labor and materials required to repair a hydrant due to the Contractor's defective work. Such invoice has not been paid by the Contractor and recommend this amount be reduced from the amount due to the Contractor.

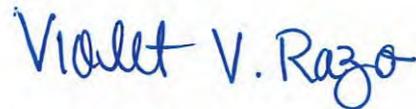
Mr. John Weidl  
Village of Mukwonago  
August 10, 2016  
Page 2

As specified in Paragraph 15.01.E.2 of the General Conditions of the Contract (Section 00 72 00), if the Village decides to impose the recommended reductions against the payment due to the Contractor, the Village is required to give the Contractor written notice stating the reasons for such action and the specific amount of the reduction, and promptly pay Contractor any amount remaining after deduction of the amount so withheld.

If you should have any questions or concerns, please feel free to contact me at the below phone number and address.

Very truly yours,

RUEKERT & MIELKE, INC.



Violet V. Razo, P.E.

Project Engineer

[vrazo@ruekert-mielke.com](mailto:vrazo@ruekert-mielke.com)

VVR:sjs  
Enclosure

cc: Dave Brown, Village of Mukwonago  
Steven Braatz, Jr., CMC/WCMC, Village of Mukwonago  
Mark G. Blum, Village of Mukwonago  
Kurt A. Peot, P.E., Ruekert & Mielke, Inc.  
Rebecca K. Alonge, Ruekert & Mielke, Inc.  
File



**Progress Estimate - Unit Price Work**

**Contractor's Application for Payment No. 3**

Application Period: 6/19/2016-7/16/2016		Application Date: 7/19/2016											
For (Project): CTH NN Water Main Relay		Engineer's Project No.: 12-10049.300											
Item No.	Description	C	D	E	F	G		H		J	K		L
						Estimated Quantity	Bid Unit Price	Bid Item Value (\$)	Estimated Quantity Installed		Value of Work Installed (\$)	Estimated Quantity Installed	
1	12-inch Water main w/granular backfill	L.F.	2,490.00	\$76.50	\$ 190,485.00	2,405.00	\$ 183,982.50		\$ -		2,405.00	\$ 183,982.50	
2	12-inch Water main valve	EA.	6.00	\$2,967.00	\$ 17,802.00	6.00	\$ 17,802.00		\$ -		6.00	\$ 17,802.00	
3	8-inch Water main w/granular backfill	L.F.	65.00	\$91.00	\$ 5,915.00	68.00	\$ 4,823.00		\$ 6,188.00		121.00	\$ 11,011.00	
4	8-inch Water main valve	EA.	1.00	\$1,773.00	\$ 1,773.00	2.00	\$ 3,546.00		\$ 1,773.00		3.00	\$ 5,319.00	
5	1 1/4-inch Water service	L.F.	330.00	\$48.60	\$ 16,038.00	174.00	\$ 8,456.40		\$ 5,540.40		288.00	\$ 13,995.80	
6	1 1/4-inch Tap, saddle and corporation valve	EA.	6.00	\$606.50	\$ 3,639.00	4.00	\$ 2,426.00		\$ 1,213.00		6.00	\$ 3,639.00	
7	1 1/4-inch Curb valve box and curb box	EA.	6.00	\$488.00	\$ 2,928.00	4.00	\$ 1,952.00		\$ 976.00		6.00	\$ 2,928.00	
8	6-inch Water service	L.F.	45.00	\$86.90	\$ 3,910.50	20.00	\$ 1,738.00		\$ -		20.00	\$ 1,738.00	
9	6-inch Water service valve	EA.	1.00	\$1,362.00	\$ 1,362.00	1.00	\$ 1,362.00		\$ -		1.00	\$ 1,362.00	
10	4-inch Water service	L.F.	25.00	\$124.50	\$ 3,112.50	14.00	\$ 1,743.00		\$ -		14.00	\$ 1,743.00	
11	4-inch Water service valve	EA.	1.00	\$1,196.00	\$ 1,196.00	1.00	\$ 1,196.00		\$ -		1.00	\$ 1,196.00	
12	Hydrant assembly w/6-inch valve	EA.	6.00	\$6,761.00	\$ 40,566.00	6.00	\$ 40,566.00		\$ -		6.00	\$ 40,566.00	
13	Hydrant assembly w/6-inch valve on existing main	EA.	2.00	\$7,629.00	\$ 15,258.00	2.00	\$ 15,258.00		\$ -		2.00	\$ 15,258.00	
14	Replace hydrant assembly	EA.	3.00	\$5,701.00	\$ 17,103.00	3.00	\$ 17,103.00		\$ -		3.00	\$ 17,103.00	
15	Replace hydrant assembly and shorten lead	EA.	1.00	\$6,570.00	\$ 6,570.00	1.00	\$ 6,570.00		\$ -		1.00	\$ 6,570.00	
16	Hydrant assembly w/6-inch valve and cut-in tee	EA.	1.00	\$12,175.00	\$ 12,175.00	1.00	\$ 12,175.00		\$ -		1.00	\$ 12,175.00	
17	Remove existing hydrant and valve	EA.	1.00	\$2,908.00	\$ 2,908.00	1.00	\$ 2,908.00		\$ -		1.00	\$ 2,908.00	
18	6-inch Hydrant lead	L.F.	170.00	\$46.10	\$ 7,837.00	132.20	\$ 6,094.42		\$ -		132.20	\$ 6,094.42	
19	Pipe insulation	L.F.	120.00	\$12.60	\$ 1,512.00	371.50	\$ 4,680.90		\$ -		371.50	\$ 4,680.90	
20	Replace existing sanitary manhole	EA.	1.00	\$11,355.00	\$ 11,355.00	1.00	\$ 11,355.00		\$ -		1.00	\$ 11,355.00	
21	Remove and replace sanitary manhole chimney	EA.	1.00	\$370.50	\$ 370.50	1.00	\$ 370.50		\$ -		1.00	\$ 370.50	
22	Remove and replace sanitary manhole frame and cover	EA.	10.00	\$703.50	\$ 7,035.00	9.00	\$ 6,331.50		\$ 703.50		10.00	\$ 7,035.00	
23	Install internal/external sanitary manhole chimney seal	EA.	4.00	\$449.00	\$ 1,796.00	4.00	\$ 1,796.00		\$ -		4.00	\$ 1,796.00	
24	2-1/2-inch Asphaltic concrete binder course	TON	285.00	\$85.40	\$ 24,339.00				\$ 27,873.87		324.05	\$ 27,873.87	
25	1-1/2-inch Asphaltic concrete surface course	TON	170.00	\$97.50	\$ 16,575.00				\$ -			\$ -	
26	Traffic control	L.S.	1.00	\$13,420.00	\$ 13,420.00	0.90	\$ 12,078.00		\$ 1,342.00		1.00	\$ 13,420.00	
27	Manufactured perimeter control device	L.F.	240.00	\$14.30	\$ 3,432.00	240.00	\$ 3,432.00		\$ -		240.00	\$ 3,432.00	
28	Manufactured ditch check	L.F.	120.00	\$14.30	\$ 1,716.00	120.00	\$ 1,716.00		\$ -		120.00	\$ 1,716.00	
29	Inlet sediment guard Type D	EA.	2.00	\$171.50	\$ 343.00	2.00	\$ 343.00		\$ -		2.00	\$ 343.00	
30	8-inch water main offset	EA.	1.00	\$12,605.00	\$ 12,605.00	1.00	\$ 12,605.00		\$ -		1.00	\$ 12,605.00	
<b>TOTAL BID ITEMS 1-30</b>					<b>\$445,076.50</b>		<b>\$ 384,409.22</b>		<b>\$ 45,409.77</b>			<b>\$ 429,818.99</b>	
<b>ADDITIONAL ITEMS</b>													
CO-1	Traffic Control Message Boards	L.S.	1	\$ 1,700.00	\$ 1,700.00	1.00	\$ 1,700.00		\$ -		1.00	\$ 1,700.00	
<b>TOTAL ADDITIONAL ITEMS</b>					<b>\$ 1,700.00</b>		<b>\$ 1,700.00</b>		<b>\$ -</b>			<b>\$ 1,700.00</b>	
<b>TOTAL ALL ITEMS</b>					<b>\$446,776.50</b>		<b>\$ 386,109.22</b>		<b>\$ 45,409.77</b>			<b>\$ 431,518.99</b>	





# Village of Mukwonago

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## AGENDA ITEM REQUEST FORM

Committee/Board:	Village Board
Topic:	Rail Study
From:	JSW
Department:	Economic Development
Presenter:	JSW
Date of Committee Action (if required):	
Date of Village Board Action (if required):	

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### Information

**Subject:** Rail Study

**Background Information/Rationale:** In the report.

**Key Issues for Consideration:** What should we do next? Do we agree with the data as presented? What does staff think? Planner? Finance? Engineer?

**Fiscal Impact (if any):** Potential TIF district creation. Due diligence is hard to say. \$100K would not be surprising.

**Requested Action by Committee/Board:** Please read the study again before the VB meeting. Please be prepared to discuss questions, comments and next steps.

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### Attachments

PLG – Final Report

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***Village of Mukwonago  
Dewey Industrial Park  
Rail Feasibility Study  
Findings Report***

*July 28, 2016*

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## Focus of Study

- Determine need and feasibility of adding rail to the Dewey Industrial Park
  - Multi-phase industrial/commercial development potential on up to 300 developable acres with direct access to Canadian National Railway Company (CN) main line
  - Obstacle: Budgetary cost of adding CN mainline connection and supporting infrastructure based upon estimate by ViaRail in the Ruekert-Mielke report dated February 25, 2016

## Scope of Work

- Market Analysis
  - Assess likely industries that are suited to the Dewey Industrial Park that require or can benefit by having rail service
  - Identify possible local and new industrial/commercial prospects and estimate benefits to community in the form of investment and job creation potential
- Design Requirements
  - Evaluate Industrial Park design and facilities to confirm match with needs of prospective industry types against total investment
- Economic Impact Analysis
  - Based upon the above findings, PLG will calculate a high level potential comparative analysis for adding versus not adding rail infrastructure to the Industrial Park over the investment period.
- Findings
  - PLG will prepare and present a report with findings and guidance regarding whether the Village should continue to perform deeper market research and analysis or whether to discontinue the rail study.
  - This report will be presented by teleconference with a copy furnished electronically to Village staff.

## Approach

- Target industries that require rail service that are suitable to the Dewey Industrial Park location
  - Identify most likely appropriate industry types
    - Private industry research sources
    - State of Wisconsin data
    - Information provided by the Village and area sources
    - PLG professional network and proprietary sources
  - Describe why these industries are likely candidates
  - Estimate level of business activity, need for rail service, and potential rail demand
  - Identify operational alternatives for rail service
- Working with Canadian National
  - Understand the CN's willingness to serve the Dewey Industrial Park and any constraints
    - Interviews with CN representatives
  - Assess origins and destinations of product types for rail shipments along the CN network and the national rail grid in order to match materials and products that prospective industries in the region may require
  - Estimate potential rail service demand by target industry type
- Assess rail system design against foreseeable rail and infrastructure needs
- Provide economic evaluation of the addition of rail to the Dewey Industrial Park
- Present findings for Village officials to make more informed decision regarding rail infrastructure additions



## Strengths

- Industrial park has a contiguous, flexible layout where rail access can be added now or in later phases of development to meet prospect needs
- Site has access to rail and the road network including Interstate 43
- Location is in a rough centroid around Milwaukee, Chicago, Madison with 4.5 million people within a 50 mile radius
- Target rail-friendly manufacturing industries identified in this study have strong presence in the area around Mukwonago
- Shortage of industrial/commercial space and high occupancy in the region (according to NAI/MLG Commercial study of commercial/industrial real estate from Q1 2016)
- Existing industrial park in Mukwonago is at full capacity and there appears to be demand for new space
- Development at the Dewey Industrial Park has started - the first tenant (Gearbox Express) has moved in and is operational
- CN does not have any other rail-served industrial parks on its line between Milwaukee and Fond du Lac to which it can direct new prospects or existing customers

## Weaknesses

- Rail operations at Dewey must not conflict with activity on the CN main line and CN will require high capital costs to connect to it:
  - Long lead track off of the main line for safe delivery and dispatch of rail cars
  - Expensive power turnout connections to the main line
  - Signalization design and installation
- Other competing or potentially competing industrial parks in the region (including the Chicago area) may have less costly connections to rail
- As currently designed, only 20 to 25 car deliveries can be received per delivery due to lead track length limitations
- The Dewey location may require extensive civil work for rail access when compared to other locations
- Potential rail freight and service disadvantages:
  - Rail access is limited to a single, Class I railroad – the CN, thus there is often less of an incentive to receive competitive rail rates
  - Short line railroads that serve competing industrial park locations can access multiple Class I railroads, thus providing more options for material sourcing and often at more competitive rates
  - CN is primarily interested in long haul business and less so in providing delivery and on site management of smaller railcar loads
  - Short line railroads often provide more attentive and specialized customer service when compared to Class I railroads

## Opportunities

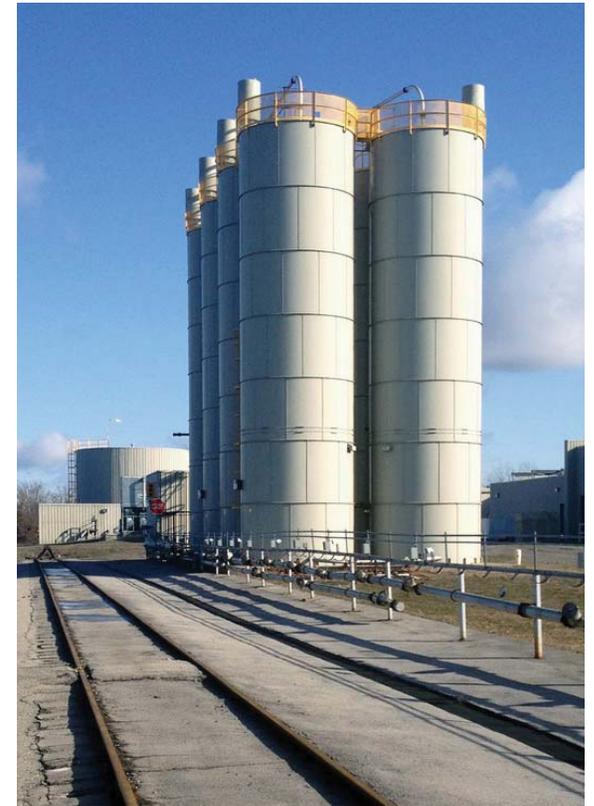
- Having rail as an option will be more attractive to a wider range of prospects
- Rail may provide an advantage to retaining existing businesses in Mukwonago
- Advantages of a transload operation:
  - Provide more cost effective receipt of bulk materials or large items
  - Independent transload operators can tap into their existing industry knowledge to identify suitable prospects to Mukwonago
  - Transload operators can also provide “last mile” intra-park switching within the industrial park
- Access to the CN can result in access to goods and materials that originate on their lines in the Pacific Northwest, USGC and eastern Canada
- The industrial park may be developed with the concept of adding rail access as prospects needing direct rail are confirmed

## Threats

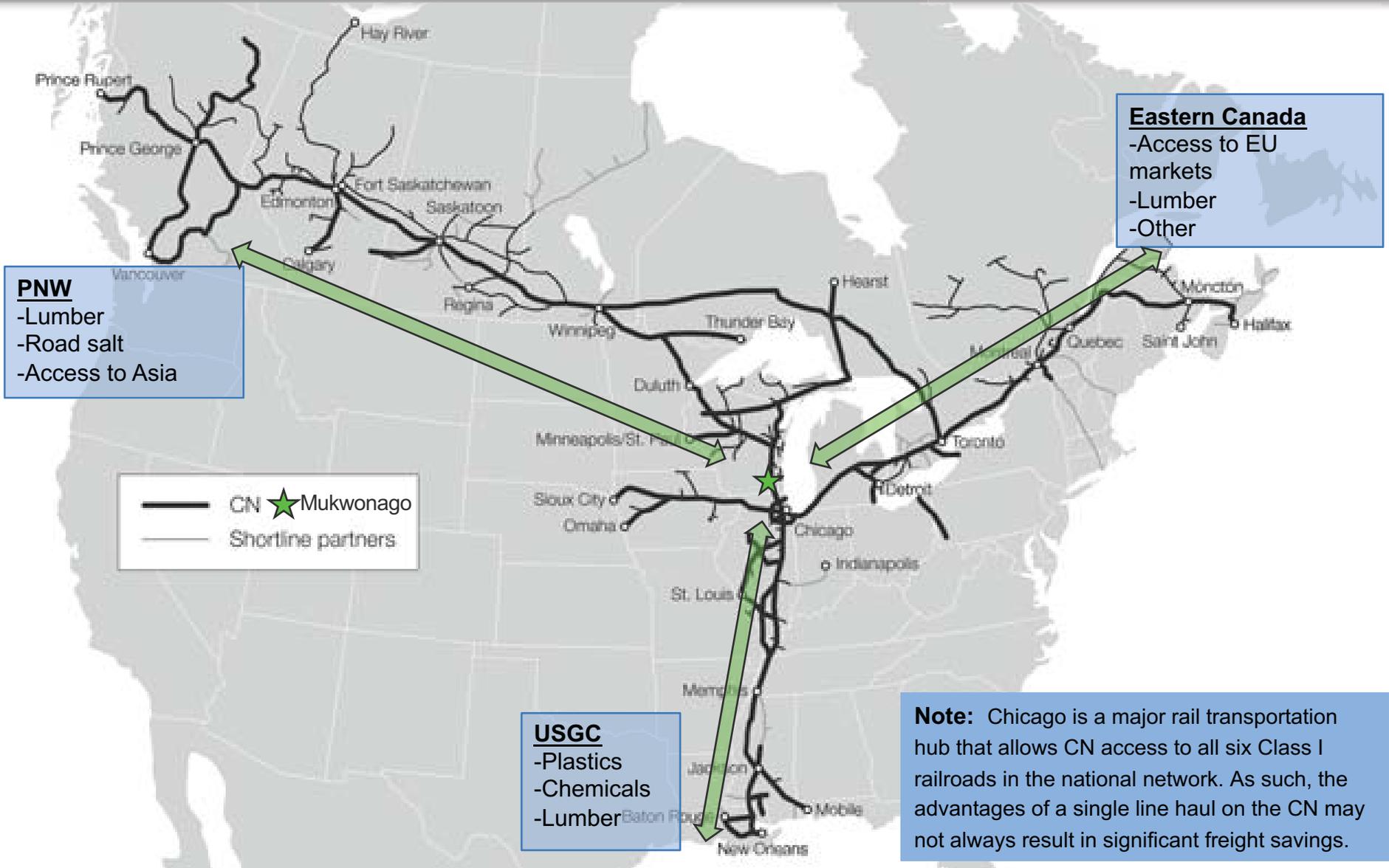
- Prospects needing rail are more inclined to consider locations that actually have rail installed versus sites that “might” have rail access.
- Wisconsin Southern (a Watco company) has established short line rail with access to multiple Class I railroads (CN, Canadian Pacific, BNSF, Union Pacific) and transload operations within the 50-mile radius of Mukwonago
- Watco is a very competitive transload operator that aggressively seeks goods and commodities to receive and distribute within a 100-mile radius of their operations
- Short line railroads often provide better customer service than Class I railroads such as the CN
- Short line railroads are much less inclined to require expensive rail connections and will often put in switches at their cost in order to stimulate business

## Considerations by the CN to Provide Service to the Dewey Industrial Park

- Operational considerations
  - The rail alongside the Dewey Industrial Park is a high-traffic main corridor for the CN
    - This is the main line for the CN access from Canadian origins into their major hub in Chicago and on south to the U.S. Gulf Coast
    - Currently, an average of 25 trains per day pass along this route and operations at a new industrial park in Mukwonago must not interfere with main line rail activity
    - A long lead track off of the main line and switch signalization will be required
    - The CN may seek to avoid industry-specific service (such as intra-plant movement of rail cars) to industrial park customers in their Industrial Track Agreements
  
- Summary of discussion PLG had with CN Industrial Development (June 2, 2016)
  - Q: From CN's perspective, is there a need for a rail-served industrial park development at Mukwonago?
    - *A: CN does not have any locations in the Milwaukee area where they can direct new customers. CN sends them to Fond Du Lac or Green Bay. There is a shortage of business parks in this area. CN gets inquiries "from time-to-time" from industries and businesses looking for sites in the Milwaukee area.*
  - Q: Does CN have current or potential rail served customers who would be looking to locate at Mukwonago?
    - *A: Not today. Maybe in the future. It would be good to have a transload track available in the development that CN could use.*
  - Q: Is CN interested in having a logistics park-type facility at Mukwonago?
    - *A: No. If CN was to do a logistics park, they would look south or west of Chicago*
  - Q: Would a new business park at Mukwonago present operational problems for CN?
    - *A: Not as long as trackage and switches were constructed to allow trains to clear off the CN main line*



# Product and Material Flow Examples on the CN System





# Target Industries – Justification and Presence

## Justification for selection of target industries

PLG has identified target industries that may require rail service at the Dewey Industrial Park based upon industry types that are prevalent in the region, typical investment, and job creation. Companies in several of the identified target industries have made inquiries to the Village and commercial real estate agents in the area. In addition, existing businesses in the target industry categories may represent candidates who may be willing to move into a new location that has rail access as an additional mode of transportation.

## Target industry companies within 50 miles of Mukwonago with five or more employees as identified by NAICS

- 3261 Plastics Product Manufacturing – 297 companies
- 4233 Lumber and Other Construction Materials Merchant Wholesalers – 186 companies
- 3273 Cement and Concrete Product Manufacturing – 90 companies
- 32412 Asphalt Paving, Roofing, and Saturated Materials Manufacturing – 15 companies
- 331 Primary Metal Manufacturing – 169 companies
- 332 Fabricated Metal Products Manufacturing – 1,107 companies
- 3253 Pesticide, Fertilizer, and Other Agricultural Chemical Manufacturing – 21 companies
- 4246 Chemical and Allied Products Merchant Wholesalers – 98 companies
- 48 Transportation and Warehousing – 15 companies
- 4931 Warehousing and Storage – 126 companies
  - 49312 Refrigerated Warehousing and Storage – 11 companies
- 311 Food Manufacturing – 375 companies
  - 3115 Dairy Product Manufacturing – 42 companies
- 424430 Dairy Product (except Dried or Canned) Merchant Wholesalers – 20 companies

*Source: Hoover's Inc.*

**Note:** Within these industries, it will be important in a future study to understand who is big enough to warrant rail service, how they receive materials or products now, and how rail at the Dewey Industrial Park may change that.

## Plastics

- Resins can originate along the CN line from the USGC, may offer potential for a competitive advantage for local plastic products manufacturers.
- Plastic resins could be transloaded from rail to truck to area manufacturers who don't have direct rail service or limited expansion capabilities
- Identified prospects by the Anderson Commercial Group include:
  - Schoeneck – requiring 20 acres with room to place up to a 500,000sq ft building. Rail needs – 8 to 10 rail cars/week
  - Aptar – requiring 15 to 20 acres for a 200,000sq ft building. Rail needs - 20-25 rail cars/month
  - 3<sup>rd</sup> manufacturer who expressed recent interest

## Metals Fabrication & Machinery/Equipment Manufacturing

- Within this NAICS code, there are over 1200 businesses engaged in Primary Metals Manufacturing (code #331) and Fabricated Metal Products Manufacturing (code #332) in the region

## Food Products

- Including distributors/processors (400 in the region by NAICS code)

## General Warehousing/Cold Storage

- The Village has received inquiries about availability of warehouse space
- Cheese or other products requiring climate-controlled conditions

## Bulk Products Requiring Intermediate Storage

- Bulk foods such as sugar, other food-grade products
- Chemicals/HazMat
- Road Salt/Calcium Chloride (from CN origin in Alberta)

## Construction

- The construction industry is significant in the region
  - Projections are for continued growth of building activity – both on the residential and commercial sectors



## General Description of Transloading

Transloading may broadly be described as transferring products from one vehicle to another. In this case, transloading is from rail to truck or vice versa for delivery to the next user of a given product or commodity. Benefits to local industry include bulk purchase savings, and reduced transportation costs when compared to long-haul trucking. An example follows:

### Rail Transload to Truck

- 100 tons: New Orleans to Milwaukee
- Rail Freight: \$4,500
- Transload: \$850(est.)
- Truck Freight (in Milwaukee area): \$1,000(est.)
- Total Cost: **\$6,350**

### Truck Only

- 100 tons: New Orleans to Milwaukee
- Truck Freight: **\$11,375**

### Net Savings

**\$5,025** per railcar equivalent



Transloading may be provided by consignees or by companies that provide this service for multiple customers/industries. Examples of typical transloaded commodities/products include construction materials, resins, chemicals, fuels, food grade products and industrial commodities. Products that would be appropriate for transloading in Mukwonago are described on the following page.

## Construction Materials

- A transload for construction materials delivered by the CN into Mukwonago would be well-suited to serve the 4.5 million people in the 50-mile radius
- Categories of construction materials include:
  - Lumber
    - CN served sources from BC for Doug Fir, SYP from LA/MS/East TX
    - Example: Biewer Lumber is a Wisconsin-based sawmill company that recently opened a new mill in Mississippi
  - Cement
    - LaFarge is a major provider of cement in the region
    - Example: Competitors such as Cemex or Holcim/Heidelberg may wish to establish a presence in the region
  - Steel Products
    - Rebar
    - Structural steel, pipe
  - Liquid Asphalt – the three largest providers in the region include:
    - BP Asphalt; HG Meigs; Flint Hills Resources



## Chemicals & Plastic Resins

- Different types of chemicals and plastics are produced in the US Gulf region where the “Shale Revolution” is helping optimize material costs
- The CN network offers access to overseas producers (Asia through Vancouver/Prince Rupert) EU through eastern Canada

## Bulk Products for Direct Transfer

- Bulk Foods (sugar, liquids)
- Fuels
- Haz Mat

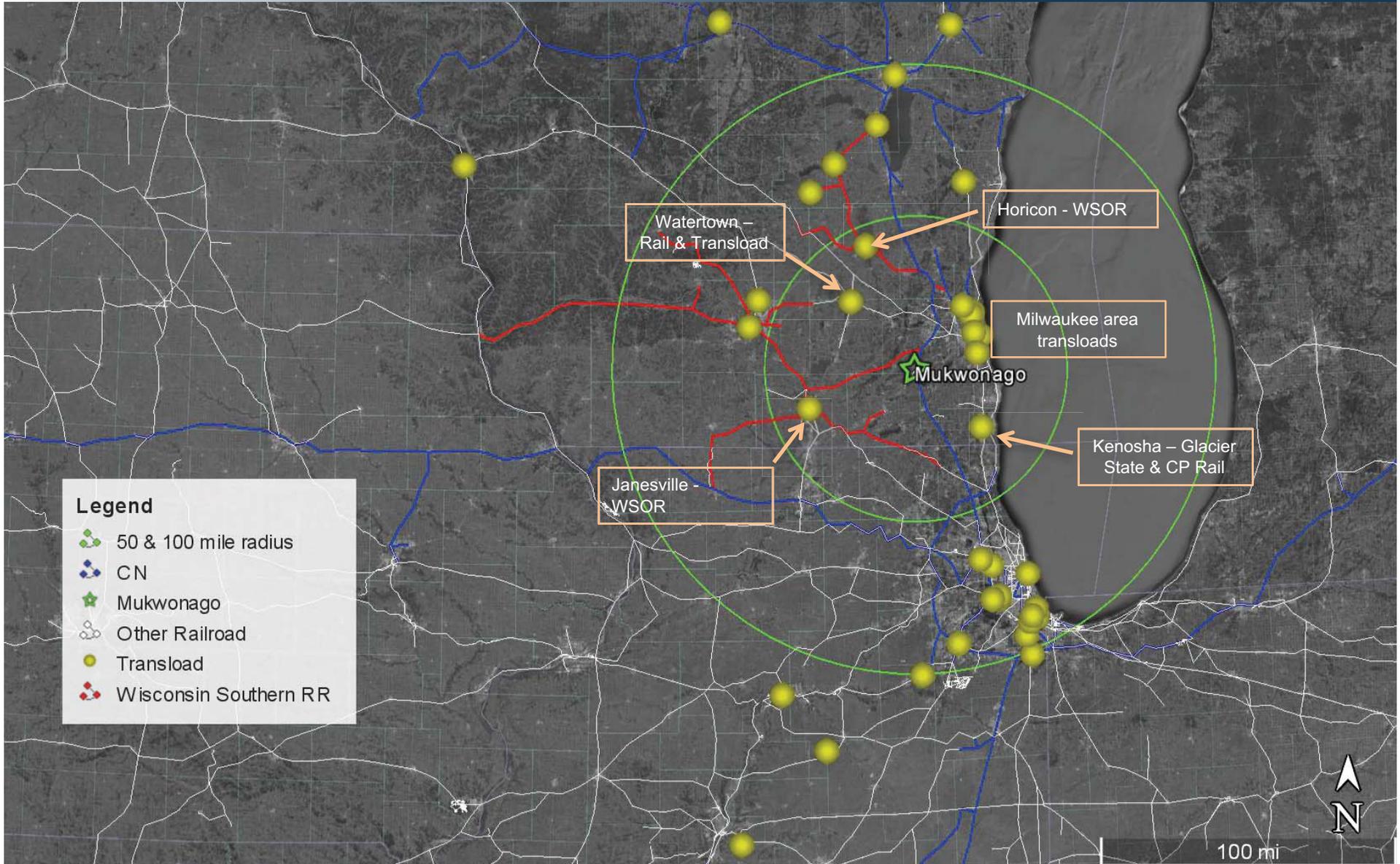
## **PLG has identified the following candidate transload operators interested in providing transloading and possibly intra-park railcar switching services:**

- Genesee & Wyoming Railroad
  - Operates 121 short line railroads on over 16,000 miles of track with over 7500 employees
  - Listed on the NYSE as “GWR” with market capitalization in excess of \$3.5 billion
  - Experienced In transloading, intro-facility rail car switching, and marketing of industrial parks to industry
  - Operates Tomahawk Railroad in northern Wisconsin and desires further penetration into the Wisconsin market, including Mukwonago
- Savage Companies
  - Experienced transload operator with facilities in 25 locations throughout the United States
  - Range of services includes locomotive switching operations
  - Industrial Development understands the opportunity in Mukwonago and is interested to investigate further
- Other Transload Service Providers
  - Trans Global Solutions, JBC Rail Services, Arrow Material Services

## **Competitors/declined to provide transloading:**

- Watco/Wisconsin Southern Railroad
  - Experienced short line railroad and transload operator with national network of facilities
  - Represent potential competition for rail transloading business
    - Existing transload operation in Janesville
    - Potential, yet undeveloped transload in Elkhorn
- Other transload operations in the region – particularly in the Chicago area
- Canadian National Railroad
  - Operates transload facilities throughout North America, including in the Chicago region
  - This opportunity is likely too small for their interest
  - Class 1 railroads often desire to focus resources on long haul and are willing to delegate final switching to industry or short line operators

# Identified Bulk Transload Facilities & Railroads in the Region





# Industries Investigated, Discounted from Further Analysis at this Time

## Big Box Retail Distribution Centers

- WalMart, Amazon, etc...
  - Reasoning: Typical acreage requirements by these types of operations are in the 250+ range. The Dewey Industrial Park is 300ac in total

## Agriculture-Related Industries

- Grain, Bulk Fertilizers
  - Reasoning: Most agriculture-related activities are well-established to the west of Mukwonago

## Vehicle Transfer

- Automobiles and Commercial Vehicles
  - Reasoning: This activity is well-established in the Chicago area. Unit trains of cars take up to 5000ft of track and multiple acres of parking space
- Heavy Equipment
  - Reasoning: Steady demand for this service is not apparent. It can be handled within the industrial park on a team track as opportunities arise

## Solid Waste Management

- Regional Transfer Station/Recycling Facility
  - Reasoning: In 2014, Waukesha County and the City of Milwaukee formed a partnership to open a new single-sort materials recovery facility to serve the region. [http://www.waukeshacounty.gov/MRF\\_Reports/](http://www.waukeshacounty.gov/MRF_Reports/)

## Rail System Overview

- The rail system design will allow for 2400 feet of lead track off the CN main line for receiving and delivery of railcars.
- Phase I Rail Development
  - CN Mainline Connections – two @ \$1M = \$2M (Note: Plan indicates Electric Lock Switches; if CN mandates Power Switch Gear, add another \$1M)
  - Switching and Runaround Tracks – 13,000 Track Feet
  - Lead Track for Phase I – 2400 Track Feet
  - Industrial Switch Gear – three @ \$80,000
    - Estimated cost with civil work = \$7.5 million
- Phase II rail development
  - Additional tracks to serve industry (east spur)
    - Estimated cost with civil work = \$2.5 million
- Based upon the 2400 track foot length lead track off of the CN siding, the rail system as currently designed is not configured to receive trains in excess of 20 to 25 railcars due to headroom limitations

## Utility Design Requirements

- Based upon input received to date from Village staff to facility questionnaire, PLG does not see current utility or infrastructure limitations to the types and sizes of candidate industry tenants.
- We recommend further evaluation as specific prospects are identified.



# Assumptions to Financial Projections

## Economic Projections

- Village investment is drawn from data presented in the Ruekert-Mielke report
- PLG's analysis assumes Phase I investment would occur over the first two years and Phase II occurs in years three through five
- Financial projections include costs for the following categories:
  - Rail costs are based upon Ruekert-Mielke report and assume Village contribution to parcel boundary where industry takes over for facility-specific improvements that would be included as "Real" investment
  - Land acquisition costs are \$30,000 per developable acre "Real" investment includes building & facility cost projections based upon a \$140 per square foot construction cost basis
  - "Personal" investment includes equipment and machinery associated with the business activity. These costs are based upon a development standard of equipment ("Personal") representing 2.5X the cost of the Real investment.
- Depreciation is 10% on the Personal investment for seven years and then flatlined in future years
- Property taxes are based on community data, using a 100% assessment ratio and a millage rate of 18.2669 per \$1000 of assessed value

## Company Investments:

	<u>Real</u>	<u>Personal</u>	<u>Total</u>	<u>Sq Feet</u>	<u>Acres</u>	<u>Jobs Created</u>	<u>Average Wage</u>
Plastics Company 1	\$35,000,000	\$87,500,000	\$122,500,000	250,000	20	50	\$17.00
Machinery and Equipment	\$21,000,000	\$52,500,000	\$ 73,500,000	150,000	20	50	\$19.50
Fabricated Metals	\$ 3,500,000	\$ 8,750,000	\$ 12,450,000	25,000	20	25	\$19.50
Food Distributor	\$ 5,000,000	\$12,500,000	\$ 17,500,000	50,000	10	35	\$16.00
Transload Operator	\$ 500,000	\$ 1,250,000	\$ 1,750,000	--	10	5	\$16.00
Construction Supply	\$ 2,500,000	\$ 6,250,000	\$ 8,750,000	25,000	10	50	\$18.00
General Warehouse	\$20,000,000	\$50,000,000	\$ 70,000,000	200,000	<u>20</u>	<u>100</u>	\$16.00
<b>Totals:</b>			<b>\$306,450,000</b>	<b>700,000</b>	<b>110</b>	<b>315</b>	

The investment numbers for Plastics Company and Food Distributor are based on the information provided to PLG by Anderson Commercial Group and further extrapolated from the reported square footage requirements. The investment for the remaining industries are based on estimates by PLG team member knowledge of the industries selected, combined with the size of the sites in the Dewey Industrial park, geography, and workforce / community considerations.

## Results

- PLG has taken the assumptions listed on the prior page to project return on investment calculations based upon:
  - High Success Rate (higher proportion of development occurs early)
  - Moderate Success Rate (development occurs more evenly through the 5 year period)
  - Low Success Rate (more development occurs later during years 4 and 5)
- In the table below, PLG has also conducted an analysis of the Village investment in the Industrial Park based upon:
  - “All Public investments Included” = that includes rail (\$9.7million for improvements + \$10million rail + \$10.5 million land acquisition)
  - “No Rail Investment” = Village investment in the Industrial Park that does not include rail (\$9.7 million for improvements + \$10.5 million land acquisition)
  - “No Rail Investment, Phase I Only” = Village investment includes \$3.7million for Phase I improvements + \$3.1 for Phase I land only

### Return on Investment Period to the Village

<u>Alternative</u>	<u>High Success Rate</u>	<u>Moderate Success Rate</u>	<u>Low Success Rate</u>	<u>Risk vs Return</u>
1) All Public Investments Included	Year 10	Year 11	Year 12	High/High
2) No Rail Investment (both Phases)	Year 14	Year 15	Year 15	High/Low
3) No Rail Investment (Phase I only)	Year 6	Year 7	Year 8	Low/Low

- For the “No Rail Investment” scenarios, PLG has taken out the plastics company, the transload operator and the food processor/distributor, all of which have a preference for rail. PLG has NOT added any additional types of investment that might go into a non-rail industrial park. As such, the “No Rail Investment” assumptions are subjective.
- The analysis does not include benefits of available grants or other incentives, such as:
  - Transportation Economic Assistance (TEA) grants available from Wisconsin Department of Transportation that can contribute up to \$1 million in rail construction costs: <http://wisconsindot.gov/Pages/doing-bus/local-gov/astnce-pgms/aid/tea.aspx>
  - Freight Railroad Infrastructure Improvement Program (FRIIP) loans are available to fund up to 100% of rail construction costs for projects similar to the proposed Dewey Industrial Park rail additions: <http://wisconsindot.gov/Pages/doing-bus/local-gov/astnce-pgms/aid/friip.aspx>



# Impact on Jobs and Tax Base

## Inclusion of Rail vs. No Rail

Based upon the forecast on the prior two pages, should rail not be built, then some prospects may choose not to come to the Dewey Industrial Park. The forecast assumes the Plastics Manufacturer, the Food Distributor, and the Transload Facility would be less likely to move into the Industrial Park. Under these assumptions, potential impacts to job creation and tax base would be as follows:

	<u>With Rail</u>	<u>No Rail</u>
<b>Job Creation:</b>	<b>315</b>	<b>225</b>
<b>Tax Base:</b>	<b>\$306,450,000</b>	<b>\$164,700,000</b>

Note: These projections are subjective and may ultimately differ substantially from how the mix of industry and investment at the Industrial Park actually develops.



# Rail Development Schedule

	<u>Time Requirement</u>
Review Preliminary Engineering with Site Development Team	1 week
Incorporate Feedback and/or Revisions	2 weeks
Submit Preliminary Documents to CN for Review	4 weeks for review (subject to CN)
Attend Review meeting at CN Offices	1 week
Incorporate CN Engineering and Operations feedback	2 weeks
Prepare Final Design and Site Development Team “sign-off”	4 to 6 weeks
Submit Final Design Documents to CN for Review and Approval	4 weeks for review (subject to CN)
Prepare Construction Documents and Budget Estimate	2 weeks
Village Makes “Go/No-Go” Decision to Build Rail	4 weeks
<i>Bidding Process</i>	<i>8 to 10 weeks</i>
<i>Construction</i>	<i>26 to 30 weeks</i>
<i>Inspection, Place into Service</i>	<i>2 weeks</i> (subject to CN)
<b>Total:</b>	<b>60 to 68 weeks</b>

## Summary of Findings

- Rail access at the Dewey Industrial Park location is limited to a single Class I carrier, which may provide cost and service disadvantages when compared to other potentially competing locations that multiple rail carrier access
- Compared to other competing or potentially competing industrial park locations, the cost of installing rail interconnection is more expensive at the Dewey location
- Development of the industrial park may be conducted to retain the ability to add rail as the need is confirmed
- The addition of rail to the Dewey Industrial Park will make it more competitive in attracting new businesses and retaining existing companies operating in the region
- Should rail be added, a transload operation should be a strong candidate for inclusion at the Industrial Park, though it is not necessarily a high employer, such an operation can be beneficial to other businesses in the region
- Though often competitive to obtain, there are grants and other incentives available in order to help mitigate the high rail access costs

## Recommendations for Next Steps

- Design and develop Phase I without rail access, but with the capability for the addition of rail as demand is confirmed
- Explore in greater detail available grants and begin the grant application process
- Work with the CN to complete interconnection process in order to better understand rail road switch requirements and signalization design to expedite addition of rail when and if needed (this is expected to be about a 12-month process and will include rail engineering time)
- The Village should consider a more focused prospect identification process including, but not necessarily limited to, the candidate industries identified in this Report to identify and secure prospects
- The Village should contact candidate transload companies (some are identified on page 10) who have expressed interest in establishing an operation at the Dewey Industrial Park
- If the Village decides the Dewey Industrial Park should be rail-served, ensure to have both rail design and negotiation expertise available when dealing with the CN



# Thank You!

For follow up questions and information, please contact:

**Bill Graham**

**Project Manager**

**650-207-9145**

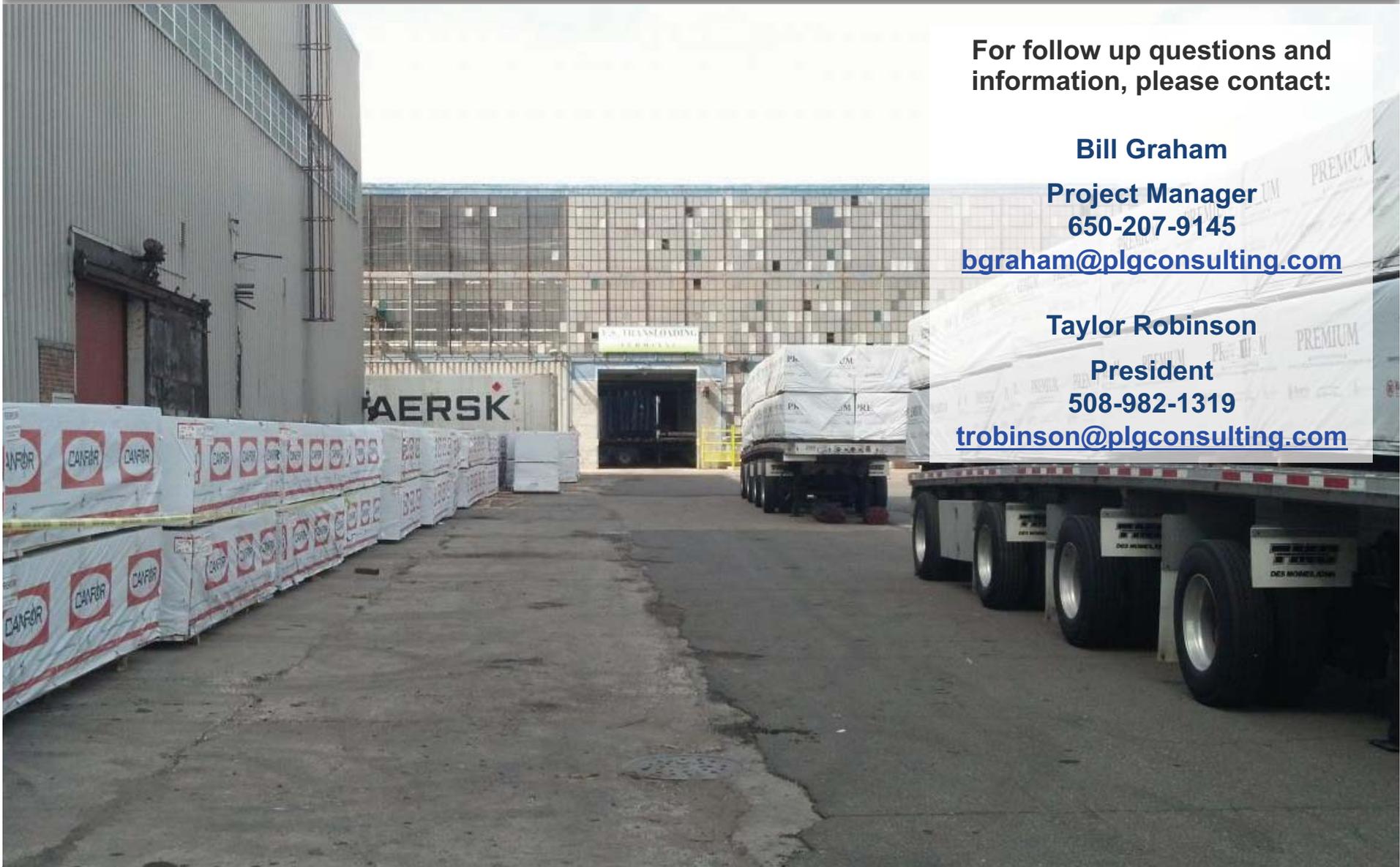
[bgraham@plgconsulting.com](mailto:bgraham@plgconsulting.com)

**Taylor Robinson**

**President**

**508-982-1319**

[trobinson@plgconsulting.com](mailto:trobinson@plgconsulting.com)





# Village of Mukwonago

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## AGENDA ITEM REQUEST FORM

Committee/Board:	VB
Topic:	Attraction Strategies and Best Practices.
From:	JSW
Department:	Economic Development
Presenter:	JSW
Date of Committee Action (if required):	
Date of Village Board Action (if required):	

---

### Information

**Subject:** Economic Development Director - Attraction Strategies and Best Practices.

**Background Information/Rationale:** Attached

**Key Issues for Consideration:** How/Which types of developments will we pursue?

**Fiscal Impact (If any):**

**Requested Action by Committee/Board:** Please read the attached ppts on market attraction strategies and site selection. We should discuss this in conjunction with our future development plans, including the ongoing feasibility of future industrial/rail. In short, we cannot do it all, developmentally speaking, and I would like to discuss how some of this info may help us focus on what we are trying to accomplish in terms of general strategy and goals.

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### Attachments

- Wisconsin's Attractiveness for Business
  - How to Position your Community for Success
-



# Wisconsin's Attractiveness for Business – a Site Selector's Perspective

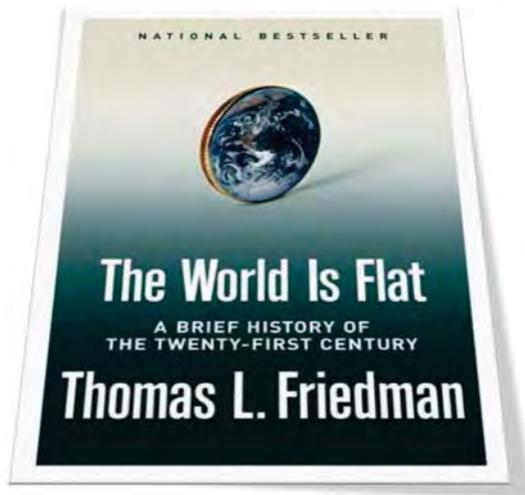
**Newmark Grubb  
Knight Frank**

Presented to:

**WEDC Fall Regional Conference**

October 2, 2014

# Geography is (not) Dead



- ◆ 2005: Thomas Friedman
- ◆ Globalization levels playing field
- ◆ Geography becomes less relevant
- ◆ “Flatteners” bring the world together
- ◆ “Innovate with no need to emigrate”



- ◆ 2005: Richard Florida
- ◆ Globalization is uneven & unequal
- ◆ Benefits & costs are geography-specific
- ◆ Culture, education, innovation, wealth, competitiveness are highly localized

**They are both right . . . “Glocalization”**



# Headquarters “Stay/Go” Location Strategy



## SITUATION

- ◆ Growth required \$500 million investment & 6,000 new employees.
- ◆ Where?
- ◆ Current location in Beaverton, Oregon or an alternative?

## APPROACH

- ◆ 72 location criteria and multiple occupancy scenarios
- ◆ People, talent, culture, image, productivity, cost effectiveness, brand
- ◆ Benchmark location vs. metro alternatives (urban & suburban).
- ◆ Total business model comparison

## RESULTS

- ◆ Challenged pre-conceived location & cost assumptions
- ◆ Provided robust analysis to support “stay & expand” decision
- ◆ Improve the cost structure for the corporation long-term



# Enterprise Data Center Location Intelligence



## OBJECTIVE

- ◆ Silicon Valley “Big Data” client needs new global locations for expansion of enterprise data centers.

## APPROACH

- ◆ Detailed utility, infrastructure, and site critical location criteria to reflect the unique regional requirements.
- ◆ Power, data connectivity, operating costs, taxation
- ◆ Gathered data on hundreds of sites in 40+ countries
- ◆ Utilized multi-criteria decision analysis for assessments

## RESULTS

- ◆ Created business intelligence databases for each region
- ◆ Built decision model with 50+ variables and 275+ sites
- ◆ Enabled faster, more confident decision-making



# Global Software Engineering Consolidation



## SITUATION

- ◆ Dispersed & inefficient global footprint
- ◆ Goal to consolidate 29 Product Development sites into 10 or fewer “Centers of Excellence” to drive innovation & reduce costs.



## APPROACH

- ◆ Review current locations, capital plans, and lease commitments
- ◆ Align product development plans for 43 products in 46 sites
- ◆ Developing and test alternative location & migration scenarios
- ◆ Assess cost impacts on facilities & non-real estate line-items



## RESULTS

- ◆ Enable leadership to evaluate *higher costs* vs. benefits of creating 8 “centers of excellence” that create operating efficiencies, intellectual synergies, and greater product innovation.





## Recent Investment Trends – Wisconsin

- ♦ The Wisconsin Technology Council and its Wisconsin Angel Network tracked a total of \$128 million venture capital that was invested into 86 companies. Investors from outside Wisconsin's borders also played a significant role in funding state companies in 2013. There was a 21 percent drop in total dollars deployed from 2012.

Total 2013 Investment	Total 2012 Investment
\$128,327,172 86 Companies	\$163,447,237 74 Companies

- ♦ Biotech in Wisconsin has been well supported by associations like BioForward and the Wisconsin Technology Council, as well as business incubators that help reduce costs and foster collaboration. According to BioForward, Wisconsin's leading bioscience industry group — more than 640 bioscience businesses in Wisconsin employ nearly 24,000 people and generate about \$7 billion in annual revenues.
- ♦ More than 40 percent of the deals in Wisconsin in 2013 were in the health care related fields of health care technology systems, health care devices and supplies, and pharmaceuticals and biotechnology. Commercial services and software were secondary sectors that each saw 17.5 percent of the total deal flow.
- ♦ There has been significant activity in 2013 in two emerging sectors—health care technology systems and clean technology.

Source : Area Development Site and Facility Planning, INWISCONSIN.COM





## ***Recent Announcements and Expansions - Wisconsin***

- ♦ **Amazon** new investment for a fulfillment center in Kenosha, is expected to create **1,100 new jobs** by 2015
- ♦ **United Natural Foods Inc.** (UNFI) will build a \$37.8 million distribution center in Prescott—a project expected to create up to **314 new jobs** over three years.
- ♦ **PSC Biotech Corp.**, life science company, is opening a new 37,000-square-foot facility at University Research Park in Madison, Wisconsin, with plans to create about **100 jobs** in the next three years.
- ♦ **HUSCO International**, an engine parts supplier in Waukesha, announced its expansion plan involving \$45 million and **150 jobs** over the next two years.
- ♦ **Walgreen Co.** announced an expansion of **115 jobs** at its distribution center in DeForest.
- ♦ **Humana Corp.** is adding **75 jobs** in the region, while **Green Bay Packaging** completed a \$95-million expansion last year, **Alta Resources** will be adding another **500 jobs** to their current facility.
- ♦ **Skyward**, is building a new headquarters in the Portage County Business Park in the town of Stevens Point and aims to grow from its current **388 employees to 671** within five years
- ♦ **Mullins Cheese Inc.**, in Mosinee, is receiving up to \$540,000 in tax credits as part of its project to install a third manufacturing line. The investment is expected to create **51 new jobs** and retain 120.
- ♦ **Jagemann Stamping Company** completed its expansion project in Manitowoc which includes a 50,000-square-foot building addition and up to **100 new jobs**.

Source : Site Selection Magazine





# Top States for Business 2014, CNBC

Overall	State	Cost of Doing Business	Economy	Infrastructure	Workforce	Quality of Life	Technology & Innovation	Business Friendliness	Education	Cost of Living	Access to Capital
1	Georgia	20	3	1	1	32	16	14	32	22	11
2	Texas	23	1	1	11	37	2	20	27	18	5
3	Utah	16	6	28	12	15	18	4	46	20	1
4	Nebraska	10	11	18	16	8	40	3	19	21	35
5	North Carolina	23	4	21	4	34	12	19	33	14	17
6	Minnesota	38	5	5	30	4	11	15	12	28	11
7	Washington	34	2	17	24	6	4	23	25	38	9
8	Colorado	35	8	29	5	12	9	16	28	34	1
8	Virginia	30	29	19	10	22	10	5	9	32	19
10	North Dakota	22	7	10	8	5	49	7	22	12	45
11	South Dakota	6	20	31	6	10	50	2	30	16	26
12	Iowa	7	18	25	37	20	29	9	22	12	49
13	Arizona	28	15	8	2	27	19	16	50	27	5
14	Tennessee	13	14	4	6	50	28	18	39	9	33
15	Kansas	26	31	8	13	25	27	11	14	24	41
16	Idaho	8	42	34	8	16	41	6	45	11	21
17	Wisconsin	26	22	10	40	24	20	25	10	23	37
18	Ohio	15	15	6	46	43	17	33	15	15	29
19	Indiana	21	30	7	27	44	25	11	15	7	37
20	Florida	37	11	27	3	28	12	35	38	31	7

- Wisconsin has a good infrastructure and education system, yet its workforce is not growing fast enough to meet demand.

## Wisconsin

Category	Score	2014 Rank	2013 Rank
Cost of Doing Business	237	26 (Tie)	28
Workforce	117	40	40
Quality of Life	159	24	19
Infrastructure & Transportation	226	10 (Tie)	17
Economy	233	22	34
Education	98	10 (Tie)	13
Technology & Innovation	182	20	19
Business Friendliness	103	25	24
Cost of Living	28	23	28
Access to Capital	7	37 (Tie)	21
Overall	1390	17	22

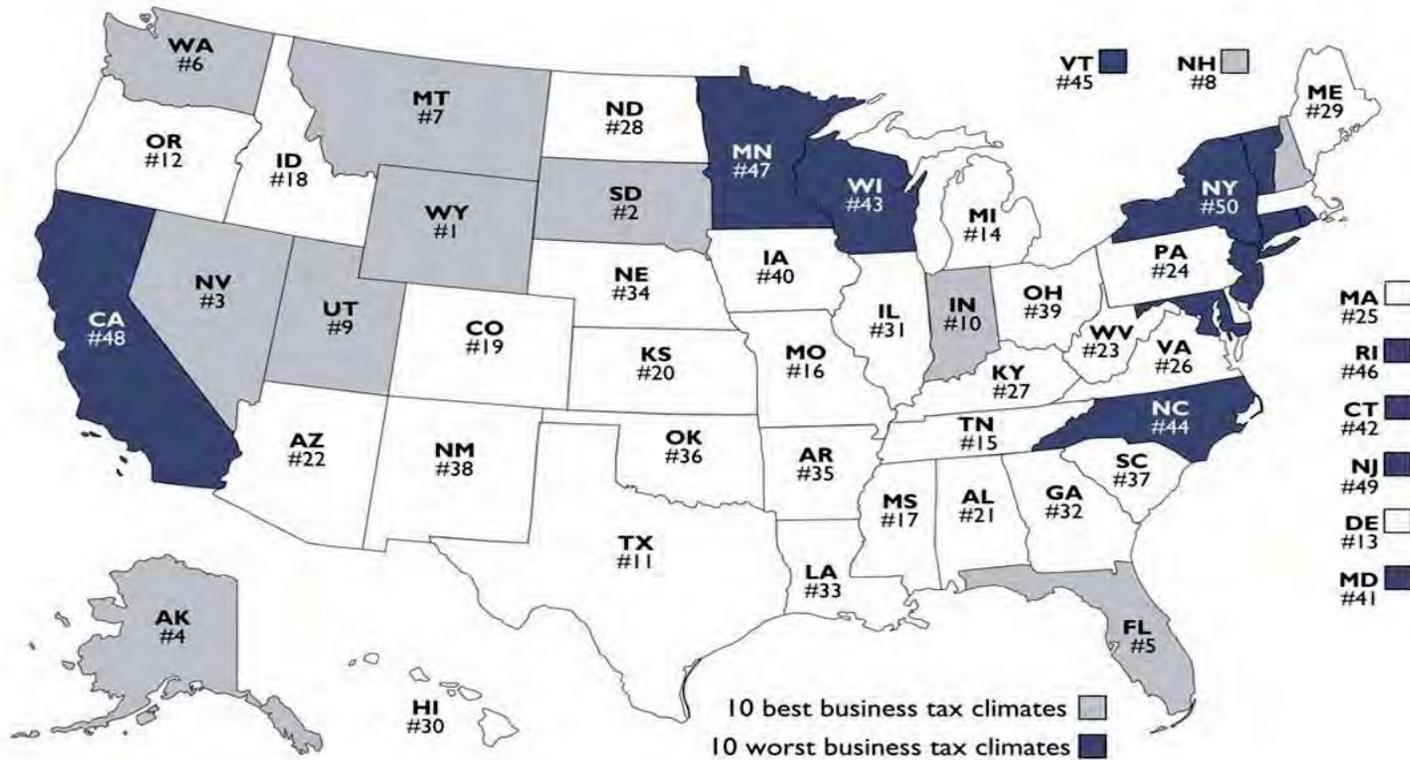
“Wisconsin’s ranking from 40s to above 20 in less than 5 years, mission accomplished?”

Source : Top States for Business, CNBC, 2014





# 2014 State Business Tax Climate Index



- Tax base is found to cause hindrance on economic activity in New Jersey, New York, Wisconsin, California, Georgia, Maryland, and Virginia.
- On July 6, 2013, Wisconsin passed SB 200, which retroactively cut the top individual income tax rate from 7.75 percent to 7.65 percent while collapsing the number of brackets from five to four. Additionally, a provision brought Wisconsin in line with the federal treatment of mineral depreciation for corporate income tax purposes. These reforms along with the Unemployment tax reforms are positive and will improve Wisconsin's score.

Note: A rank of 1 is more favorable for business than a rank of 50. Report shows tax systems as of July 1, 2013 (the beginning of Fiscal Year 2014)

Source: Tax Foundation



# About Newmark Grubb Knight Frank (NGKF)



- ◆ **Newmark** founded in 1929
- ◆ **Knight Frank** founded in 1896
- ◆ Global partnership established in 2006
- ◆ BGC acquisition of Newmark Knight Frank in 2011
- ◆ BGC acquisition of Grubb & Ellis in April 2012 creates **Newmark Grubb Knight Frank (“NGKF”)**.
- ◆ Now among **Top 5** global real estate services firms.
- ◆ As part of **BGC Partners Inc.**, we are dramatically expanding our footprint, growing our business lines, and capitalizing on technology, making us one of the most **dynamic and innovative** service providers in the industry.

**TWO GREAT BRANDS.  
ONE REAL ESTATE  
POWERHOUSE.**

Newmark Knight Frank and Grubb & Ellis are coming together to create **Newmark Grubb Knight Frank**, a game-changing platform in commercial real estate.

With over 100 offices in North America, a shared entrepreneurial spirit, and a commitment to superior client service, Newmark Grubb Knight Frank is the industry's newest full-service powerhouse.

As part of BGC Partners, a leader in global capital markets, we are dramatically increasing our footprint, expanding our business lines, and capitalizing on technology – establishing a premier position in commercial real estate.

**Newmark Grubb  
Knight Frank**

**bgc**

Tenant & Landlord Representation • Global Corporate Services • Investment Sales & Capital Markets • Property Management  
• Facilities Management • Appraisal • Project Management • Office • Industrial • Retail • Multi-family • Hospitality



# About Newmark Grubb Knight Frank (NGKF)

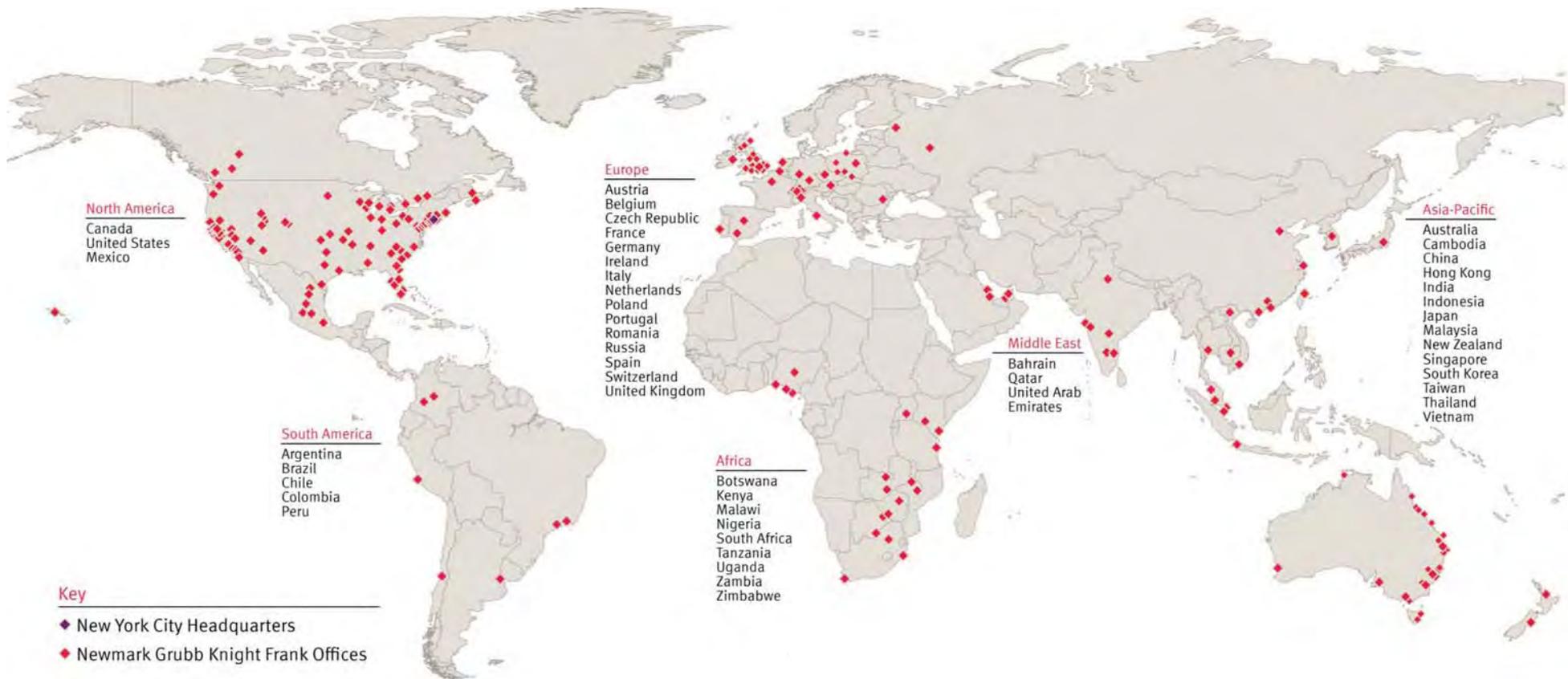


**12,000  
Professionals**

**500 Million SF  
Managed**

**330 Offices  
6 Continents**

**\$1.58 Billion  
Revenue**



# Comprehensive Real Estate Services



## Global Account Management

- Governance Program Development
- Corporate Communications
- Organizational Transformation
- Merger and Acquisition Due Diligence
- Service Provider Transition Management
- Real Estate Strategic Planning
- Benchmarking and Performance Measurement
- Business Unit Collaboration Management
- Global Services Delivery Coordination
- Corporate Asset Optimization
- Operating Expense Reduction Strategies

## Consulting Services

- Operations and Portfolio Strategy
- Multi-criteria Decision Analysis
- Location Strategy and Optimization
- Supply Chain and Logistics Network Modeling
- Location Selection and Due Diligence
- Economic Incentives Feasibility and Negotiations
- Workforce Studies and Demographic Analysis
- Workplace Strategies
- Global Workplace Standards
- Space Utilization, Efficiency and Vacancy Analysis
- Lean and Six Sigma Consulting
- Workflow and Business Process Improvement
- Strategic Sourcing and Spend Analytics
- Technology Solutions
- Business Case Development

## Transaction Management & Advisory

- Market Analysis and Benchmarking
- Site Evaluation
- Building Due Diligence
- Competitive Building Analysis
- Financial Modeling
- Site Selection
- Marketing and Repositioning Strategies
- Prospecting and Canvassing
- RFP Process and Proposal Evaluation
- Financial Analysis
- Transaction Negotiation
- Post Transaction Services

## Lease Administration

- Lease Translation and Abstraction Services
- Lease and Operating Expense Audits
- Financial and Critical Date Reporting

## Valuation Services

- Lease, Cost, Portfolio and Investment Analysis
- Capital Market Support Services
- Debt Analysis and Valuation
- Insurance Valuation
- Underwriting
- Economic and Geographic Studies
- Appraisal, Including Reviews and Management
- Marketability/Feasibility and Highest and Best-Use Studies
- Land and Property Valuation of Single Assets and Portfolios
- Tax Reduction Analysis

## Global Program and Project Management

- Resource Integration Management
- Program Lifecycle Management
- Design Management
- Procurement Services
- LEED / Sustainability Evaluation
- Building Condition Assessment
- Capital Planning and Budgeting
- Construction Administration
- Change Management / Communications
- Technology Integration Services
- Relocation Management Services
- Facility Decommissioning Services

## Facilities Management

- Facility Audits and Reviews
- Energy Management Services
- Office Services
- Janitorial Services
- Mechanical Services
- Bill Payment
- Maintenance Project Management
- Space Management
- Moves, Adds and Changes Management



# Business & Real Estate Consulting Services

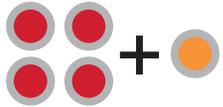


Portfolio Strategy	Location Strategy	Workplace Strategy
What?	Where?	How?
<p>Evaluate <b>Portfolio Performance</b> and optimize spend, footprint, and business functions</p> <ul style="list-style-type: none"> <li>▪ Internal &amp; External Performance Benchmarking</li> <li>▪ Footprint Planning</li> <li>▪ Sustainability and Capacity Evaluation</li> <li>▪ Supply Chain Network Planning</li> <li>▪ Lease vs. Own</li> <li>▪ Strategic Facility Planning</li> <li>▪ Real Estate Structuring</li> </ul>	<p>Assess <b>Location Opportunities</b> for business scenarios and optimize operating costs and conditions</p> <ul style="list-style-type: none"> <li>▪ Economic Geography &amp; Business Climate</li> <li>▪ Location Selection &amp; Community Due Diligence</li> <li>▪ Workforce and Occupational Skills Analysis</li> <li>▪ Operating Costs &amp; Conditions</li> <li>▪ Infrastructure &amp; Real Estate Market Analysis</li> <li>▪ Economic Incentives Feasibility and Execution</li> </ul>	<p>Evaluate process, function &amp; culture to define <b>Workplace &amp; Occupancy</b> scenarios and plans.</p> <ul style="list-style-type: none"> <li>▪ Consensus Building</li> <li>▪ Client Organization Dynamics</li> <li>▪ Benchmarking</li> <li>▪ Business Process Improvement</li> <li>▪ Outsource vs. Insource</li> <li>▪ Workplace Environment</li> <li>▪ Visualization</li> <li>▪ Change Management</li> </ul>



# “Triggers” for Location Change Events

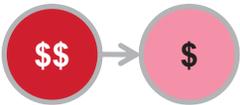
Location decisions are triggered by specific events or drivers.



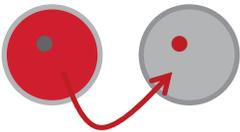
**Growth & New Market Access**



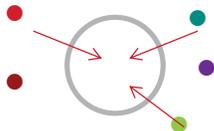
**Inefficiency**



**Rising Costs**



**Changing Business Climate**



**Industry Attraction / Clustering**



# Business Location Comparisons & Rankings



## ◆ Select Competitiveness References

- ◆ AT Kearney's FDI Confidence Index
- ◆ Deloitte / KPMG / PWC
- ◆ Fraser Institute Index of Economic Freedom
- ◆ Global Production Location Indicators
- ◆ IMD World Competitiveness Yearbook
- ◆ Institute for Strategy & Competitiveness
- ◆ Mercer Quality of Living Rankings
- ◆ Transparency International's Corruption Report
- ◆ World Economic Forum's Global Competitiveness Report
- ◆ World Bank "Doing Business" Ratings
- ◆ World Bank "Business Environment" Survey
- ◆ And so on . . .



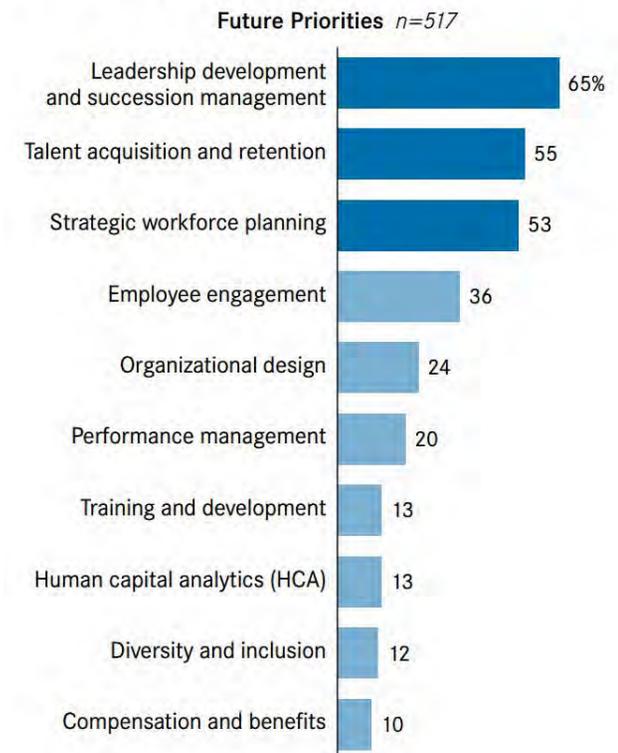
# Major Themes Impacting Business Location Strategy



- ◆ Talent availability, education & innovation
- ◆ Energy abundance, scarcity, (in)stability, and generation mix
- ◆ Product development & innovation
- ◆ Intellectual property access & protection
- ◆ Market access, new markets for growth
- ◆ Structural cost reduction & optimization

## RESEARCH REPORT THE STATE OF HUMAN CAPITAL 2012

What would you consider to be the critical human capital priorities for you and your organization, in the next 2-3 years? (Rank top three)

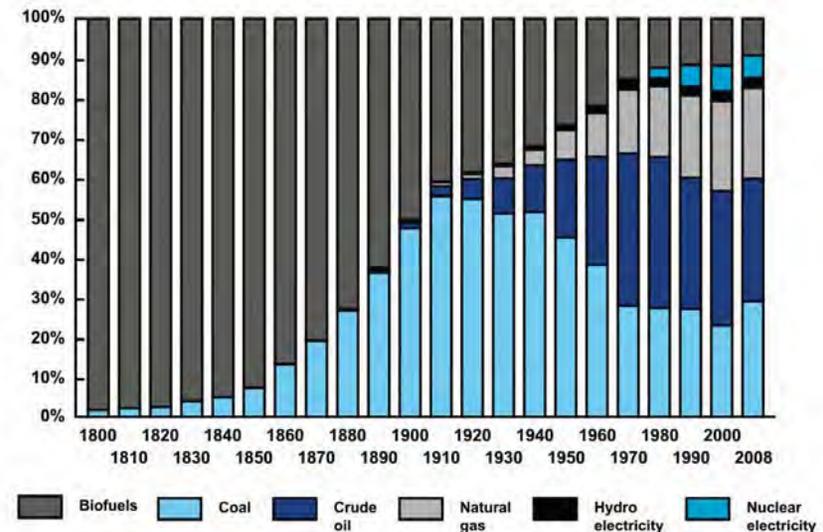


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- ◆ Structural cost reduction & optimization

Share of Fuels in Energy Mix, 1800–2008



Source: *Energy Transitions: History, Requirements, Prospects*, Vaclav Smil, 2010. 21215-1





# Major Themes Impacting Business Location Strategy



- ◆ Talent availability, education & innovation
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## UK despatches 'first intellectual property trade mission' to China

The UK government's first trade delegation to China focused on issues involving intellectual property (IP) has begun a five-day visit to the country aimed at boosting confidence for British firms doing business in China. | 01 Sep 2014



# Major Themes Impacting Business Location Strategy



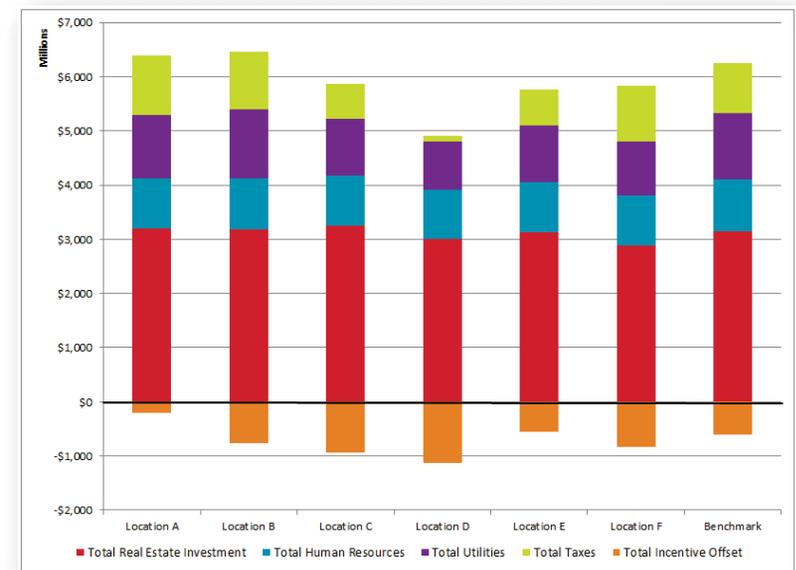
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- ◆ Market access, new markets for growth
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# Major Themes Impacting Business Location Strategy



- ◆ **Access to quality infrastructure & supply chain optimization**
- ◆ **Rationalization, consolidation, optimization, a more efficient footprint**
- ◆ **Tactical improvements to bottom line (business climate; workforce; real estate)**
- ◆ **Risk management**
- ◆ **“Triple Bottom Line” thinking: People, Planet, Profits**

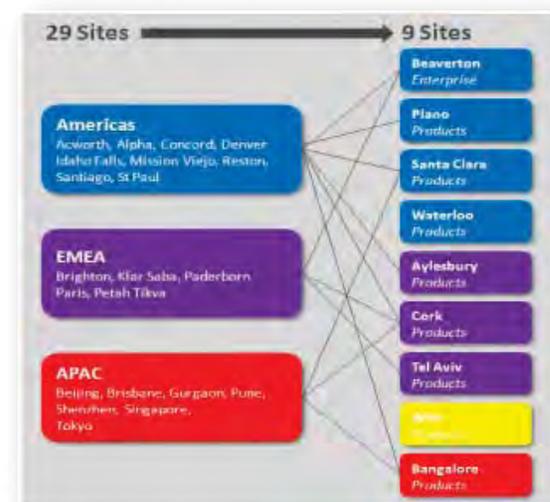


United Arab Emirates (2012):  
Khalifa Port Receives Post Panamax STS Container Cranes



# Major Themes Impacting Business Location Strategy

- ◆ Access to quality infrastructure & supply chain optimization
- ◆ Rationalization, consolidation, optimization, a more efficient footprint
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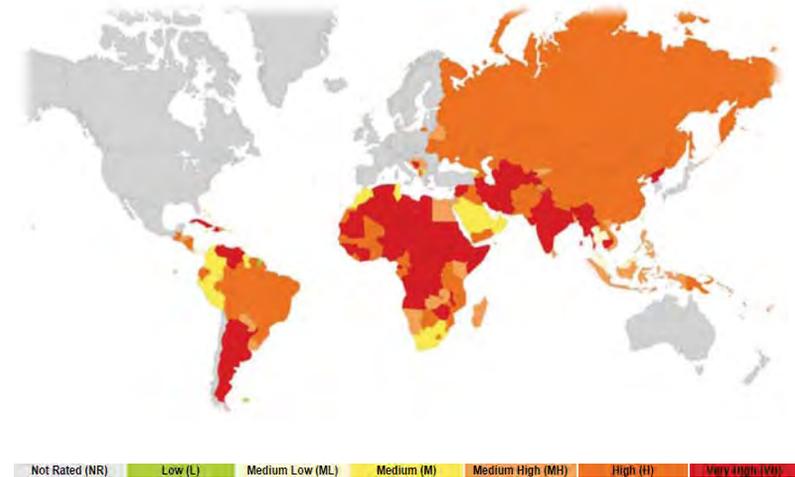


# Major Themes Impacting Business Location Strategy



- ◆ Access to quality infrastructure & supply chain optimization
- ◆ Rationalization, consolidation, optimization, a more efficient footprint
- ◆ Tactical improvements to bottom line (business climate; workforce; real estate)
- ◆ Risk management
- ◆ “Triple Bottom Line” thinking: People, Planet, Profits

- ◆ 38 countries are rated “Very High Risk” by Aon Insurance



# Major Themes Impacting Business Location Strategy



- ◆ Access to quality infrastructure & supply chain optimization
- ◆ Rationalization, consolidation, optimization, a more efficient footprint
- ◆ Tactical improvements to bottom line (business climate; workforce; real estate)
- ◆ Risk management

◆ “Triple Bottom Line” thinking:  
People, Planet, Profits



# \$15 Billion Advanced Manufacturing Location Feasibility



## OBJECTIVE

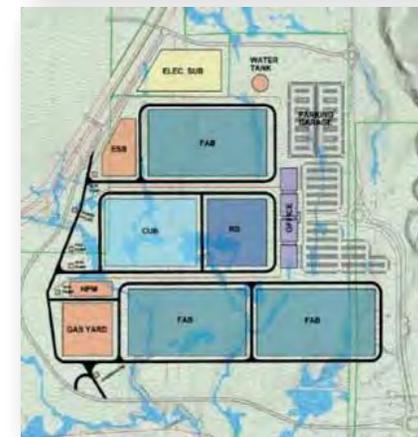
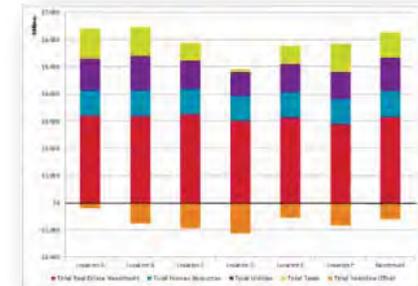
- ◆ Assess operational and financial feasibility of siting and developing a \$15 billion advanced manufacturing campus in the U.S.

## APPROACH

- ◆ Identify target geographies to support 1,600 full-time high-tech jobs.
- ◆ Create detailed Multi-Criteria Decision Analysis (MCDA) methodology
- ◆ Conduct due diligence on site, community, and utility capacities and constraints, and build cost model for location-sensitive costs.
- ◆ Test feasibility of securing globally-competitive incentives packages

## RESULTS

- ◆ 32% cost differential between best location and Client's benchmark
- ◆ \$7+ billion in potential economic incentives available
- ◆ Challenged Client's assumptions and demonstrated U.S. viability





**THANK YOU**

GRACIAS  
ARIGATO  
SHUKURIA  
JUSPAXAR  
DANKSCHEEN  
TASHAKKUR ATU  
SUKSAM  
EKKHMET  
MEHRBANI  
PALDIES  
BOLZIN  
MERCY  
BIYAN  
SHUKRIA  
TINGKI  
YAHANYELAY  
SUKSAM  
EKKHMET  
MEHRBANI  
PALDIES  
BOLZIN  
MERCY  
GRACIAS  
ARIGATO  
SHUKURIA  
JUSPAXAR  
DANKSCHEEN  
TASHAKKUR ATU  
SUKSAM  
EKKHMET  
MEHRBANI  
PALDIES  
BOLZIN  
MERCY  
BIYAN  
SHUKRIA  
TINGKI  
YAHANYELAY  
SUKSAM  
EKKHMET  
MEHRBANI  
PALDIES  
BOLZIN  
MERCY



**Deloitte.**

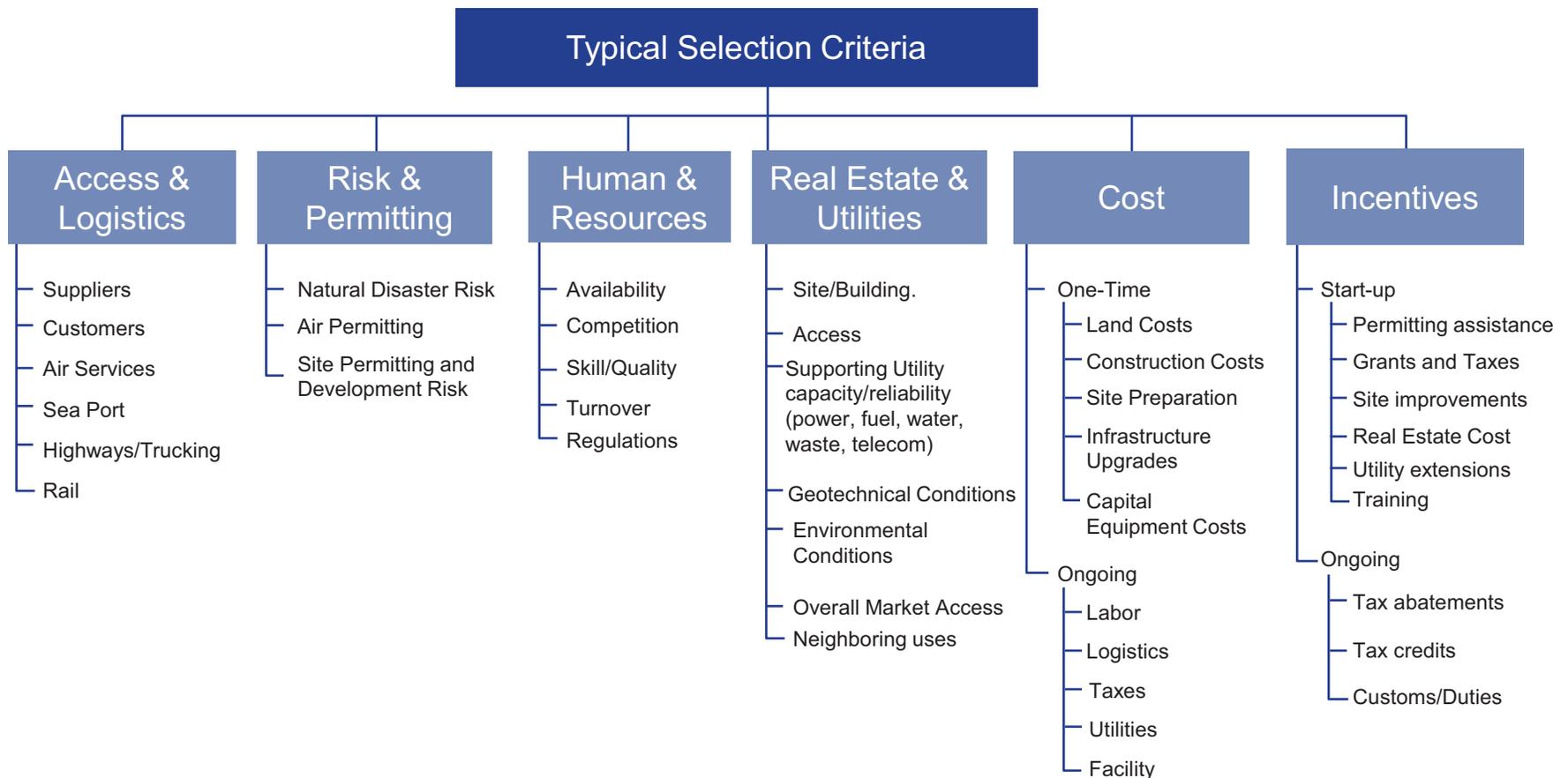
## **Creating Jobs in 2014-15**

**How to Position Your Community for Success**

Deloitte Consulting LLP

October 2, 2014

# Site selection is driven by numerous factors, some of which are under the control of EDOs



**Understanding how to influence the right selection factors is critical to achieving success in business attraction**

## How communities achieve measurable results

---

Strategically speaking, successful communities have:

1. Assessed their reality (assets, challenges, trends)
2. Built consensus around a vision for the future
3. Prioritized controllable vs. non-controllable issues to address
4. Plotted a course for change (mission statement)
5. Rallied support for the vision and mission from all necessary constituencies
6. Mastered the execution



## How communities achieve measurable results

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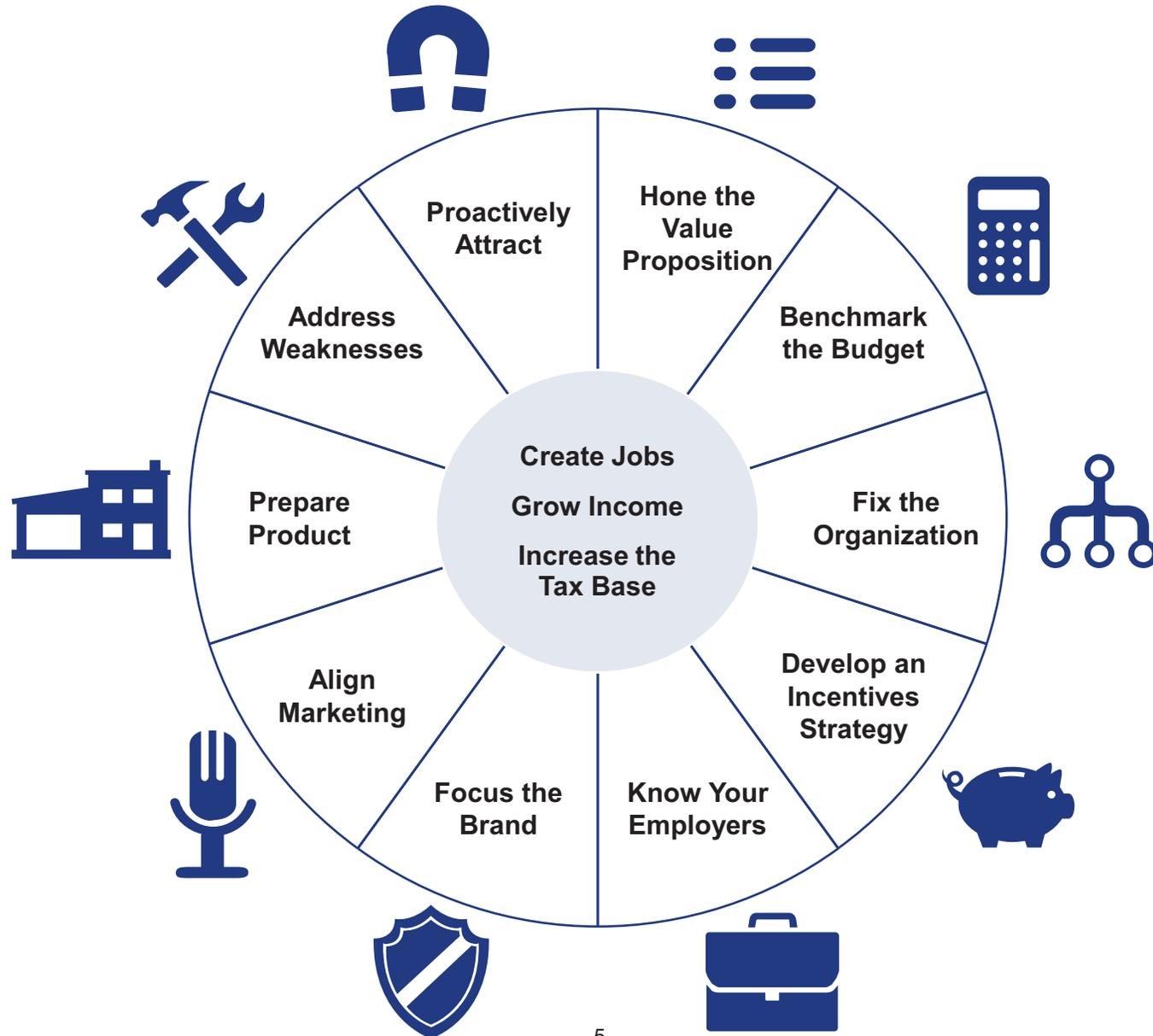
- Tactically speaking, successful communities are:
  - Focused on cluster target industries
  - Networked with broader coalitions (regionalism, utility, State, railroad, etc.)
  - Well-prepared with multiple site/building options
    - Have developers involved early
    - Many have publicly-controlled industrial parks with fully-served infrastructure
  - Prepared to offer meaningful incentives for projects that will provide a substantial ROI for the community
- Successful community EDOs demonstrate:
  - Urgency
  - Persistence
  - Creativity



# How to Position the Community for Success

## But where to start?

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## What should EDO's do now to create jobs in 2014-15?

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### 1. Hone the value proposition



- What makes this community/county/region different?
- What makes it special?
- What are the unique assets that other communities/counties/regions don't have?



## What should EDO's do now to create jobs in 2014-15?

---

1. Hone the value proposition
2. **Benchmark your budget for economic development**

- Per capita spend
- Per GDP spend
- Sources
- Sustainability



## What should EDO's do now to create jobs in 2014-15?

---

1. Hone the value proposition
2. Benchmark your budget for economic development
3. **Correct any organizational issues**

- 
- Span of control
  - Misalignment with elected officials
  - Cooperation agreements with neighbors
  - Relationship with the State and utilities
  - KPIs



## What should EDO's do now to create jobs in 2014-15?

---

1. Hone the value proposition
2. Benchmark your budget for economic development
3. Correct any organizational issues
4. **Set an incentives policy**



- Get leadership buy-in
- Understand incentives upper limits
- Formulate the strategy and approach for incentives



## What should EDO's do now to create jobs in 2014-15?

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1. Hone the value proposition
2. Benchmark your budget for economic development
3. Correct any organizational issues
4. Set an incentives policy
5. **Know your employers**



- Set up call/visitation program
- Enlist their support in creating jobs in their ecosystem
- Uncover their issues with the location – and do what you can to fix them



## What should EDO's do now to create jobs in 2014-15?

---

1. Hone the value proposition
2. Benchmark your budget for economic development
3. Correct any organizational issues
4. Set an incentives policy
5. Know your employers
6. **Focus the brand around the value proposition**

- 
- When was the brand last refreshed?
  - Can you articulate the brand: What is the brand – and what does it mean?
  - Can your employers articulate the brand?
  - Can your 4<sup>th</sup>-graders articulate the brand?



## What should EDO's do now to create jobs in 2014-15?

---

1. Hone the value proposition
2. Benchmark your budget for economic development
3. Correct any organizational issues
4. Set an incentives policy
5. Know your employers
6. Focus the brand around the value proposition
7. **Align marketing around the brand and value proposition**



- Fix the website – now
- Validate the cost/benefit of all marketing spend



## What should EDO's do now to create jobs in 2014-15?

---

1. Hone the value proposition
2. Benchmark your budget for economic development
3. Correct any organizational issues
4. Set an incentives policy
5. Know your employers
6. Focus the brand around the value proposition
7. Align marketing around the brand and value proposition
8. **Prepare your product**

- 
- Catalog sites and buildings
  - Prepare an RFI response for the best 5 of each
  - Prepare due diligence binder for each



## What should EDO's do now to create jobs in 2014-15?

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1. Hone the value proposition
2. Benchmark your budget for economic development
3. Correct any organizational issues
4. Set an incentives policy
5. Know your employers
6. Focus the brand around the value proposition
7. Align marketing around the brand and value proposition
8. Prepare your product
9. **Assess weaknesses in your game plan – and address them**

- Weak value proposition?
- Budget issues?
- Organizational issues?
- No incentives policy?
- Employers with issues?
- Outdated brand?
- Ineffective marketing?
- Unprepared sites and buildings?



## What should EDO's do now to create jobs in 2014-15?

---

1. Hone the value proposition
2. Benchmark your budget for economic development
3. Correct any organizational issues
4. Set an incentives policy
5. Know your employers
6. Focus the brand around the value proposition
7. Align marketing around the brand and value proposition
8. Prepare your product
9. Assess weaknesses in your game plan – and address them
10. **Proactively pursue companies that are well-aligned with the location's strengths**

- 
- Ecosystem or supply chain alignment
  - Employers that covet your deep pockets of talent
  - Employers that would enjoy access to your cost advantages
  - Employers that crave access to customers in your region

## Q&A

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# Village of Mukwonago

## AGENDA ITEM REQUEST FORM

Committee/Board:	Village Board
Topic:	Rental of Lynch site – Storage – Amato Ford
From:	JSW
Department:	Admin/PW
Presenter:	JSW
Date of Committee Action (if required):	
Date of Village Board Action (if required):	8/16/2016

### Information

**Subject:** Rental of Lynch site – Storage – Amato Ford

**Background Information/Rationale:** Amato is interested in renting the Lynch site for storing new vehicles. Amato is experiencing rapid online sales growth, necessitating a larger inventory. Before committing to a long-term strategy (land, capital, etc.) Amato wants to test the theory using some short-term rental space. The Lynch site is a fit because the Village will not be developing until after the Comp Plan Update, which will take us at least into next year.

**Key Issues for Consideration:** Amato is offering a \$5,000 donation to the advancement of an outdoor performance stage for a 9-month lease of the Lynch site for storage of new inventory for online sales. Matt from Amato was supportive of the first effort to create Music in the Park – the project formerly known as “Bandshell,” and is supportive of the Village’s efforts to revitalize the idea. Further – and as described in the financial section – it may be unreasonable to expect to get “full-rental value” on the property due to the limitations of the site (timeline).

It is reasonably expected that at least 50 cars will be parked, but more than likely we should plan on more space being used (turning, snow removal ops, etc).

Any agreement would include: an understanding that there is no outdoor lighting provided and must be at renters expense, an indemnification for the Village from any legal action resulting from the use of that space, there is only single phase electric available, no gas/water, no use of internal structures, they provide all monthly maintenance to lawn, etc., no selling cars – STORAGE ONLY. The Village Attorney may have additional suggestions based on our discussion.

**Fiscal Impact (if any):** Surface level, this is a net gain for everyone. Amato can test a business plan in a low-risk environment that may lead to future development and the Village removes maintenance duties from PW, while the performance stage idea obtains some much needed funding to move the project forward.



I talked with our real-estate agent and it would not be uncommon to rent storage space for between \$3-5/sq. ft. Mind you, this is for a structured lease for property that will presumably not be torn down in the next two years.

Anyway – 50 cars x 135 sq ft per car (9x15) x \$3 = \$20K per year, or almost \$1,700 per month, or \$15K for 9 months. And that is without driving/turning lanes included. So on the open market as a rental, the property is worth far more than offered.

Another way of thinking about this: the former user had a rolling average of 200 cars parked for sale with an additional 50 for employees. Also, dealerships that charge for rental space, charge \$10/car/month on a rolling average. This gets us to \$18K per year when you factor it out.

So we are somewhere between two poles – allowing the property to sit and cost the Village money and the theoretical opportunity costs of what the property may be worth. I am suggesting that somewhere in between, it may be worth considering partnering with our local business community and funding a worthwhile development project.

**Requested Action by Committee/Board:** I am suggesting that working something with Amato is a potentially beneficial partnership for multiple parties. Amato can test a business strategy, the Village can support a local business and the performance stage project receives local business support and funding.

Regardless of where the Board wants to go in terms of compensation, I would ask that you direct staff to put together a lease agreement for board consideration – possibly routed through the public works committee.

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### Attachments

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**RESOLUTION 2016-XXX**

**A RESOLUTION AMENDING THE 2016 ADOPTED BUDGETS FOR THE GENERAL FUND  
AND FIRE DEPARTMENT FUND**

**WHEREAS**, action by the Village Board of the Village of Mukwonago is required to amend the 2016 Adopted Budget, and,

**WHEREAS**, the Village Board has reviewed the budget amendments listed below and recommends their adoption for the reasons specified

**NOW, THEREFORE, BE IT RESOLVED** the Village Board of the Village of Mukwonago hereby approves amending 2016 Adopted Village Budget as follows:

E 100-5670-5219	Economic Development Professional Services	10,000	
R 100-4900-4930	Fund Balance Applied		10,000

Increase the General Fund budget for the payment of earnest money on potential property purchase. Should the purchase not occur by the offer expiration date (April 2017), the Village will be refunded \$5,000 to be receipted as misc. revenue in the General Fund.

R 150-4900-4930	Fund Balance Applied	3,922	
E 150-5990-5905	Transfer to Fund Balance		3,922

Correction to Resolution 2016-002 to amend the Fire Department budget for the payroll leap year issue which decreased the appropriate payroll expenditure accounts with an offset to a revenue account, Fund Balance Applied. The correct entry should have been an increase to an expenditure budget account called transfer to Fund balance – in effect, creating a budget reallocation rather than amendment. This budget amendment is to correct the account numbers for the offsetting entry and restore the total Fire Department budget to the amount originally adopted.

Adopted this 16<sup>th</sup> day of August, 2016.

\_\_\_\_\_  
Fred Winchowky, Village President

Attest: \_\_\_\_\_  
Steven A. Braatz, Jr., Clerk-Treasurer

## RESOLUTION 2016-XXX

### A RESOLUTION TO URGE THE STATE OF WISCONSIN GOVERNOR AND LEGISLATURE TO AGREE UPON A SUSTAINABLE TRANSPORTATION FUNDING SOLUTION

**WHEREAS**, local government in Wisconsin is responsible for about 90% of the road miles in the state; and

**WHEREAS**, Wisconsin's diverse economy is dependent upon county and town roads as well as city and village streets and transit systems across the state; and

**WHEREAS**, according to "Filling Potholes: A New Look at Funding Local Transportation in Wisconsin," commissioned by the Local Government Institute of Wisconsin (LGI) the condition of Wisconsin's highways is now in the bottom third of the country; and

**WHEREAS**, state funding for local roads in Wisconsin has failed to keep up with costs over the past several decades which has adversely affected local transportation finances. According to "Filling Potholes," municipal transportation spending has declined from \$275 per capita in 2000 to \$227 in 2012; and

**WHEREAS**, high quality and fast transit systems are critical to attracting businesses and people to urban areas, yet state funding for transit is less today than it was five years ago; and

**WHEREAS**, levy limits do not allow local government to make up for the deterioration of state funding; and

**WHEREAS**, Wisconsin's over-reliance on borrowing eats away at the state's segregated funding sources – the state gas tax and vehicle registration fees – which increasingly pay debt service rather than fund transportation needs; and

**WHEREAS**, safety is a primary concern and responsibility of local governments across Wisconsin. Unfortunately, according to TRIP, a national non-profit transportation research group, Wisconsin had 347 non-interstate, rural road fatalities in 2013; and

**WHEREAS**, the Village Board recognizes that our state highway and interstate system is the backbone of our surface transportation system and plays a vital role in the economy of Wisconsin. Both local *and* state roads need to be properly maintained in order for our economy to grow; and

**WHEREAS**, from a competitive standpoint Wisconsin motorists pay significantly less than any of our neighbors when you combine the annual cost of the state gas tax and vehicle registration fees; and

**WHEREAS**, the Transportation Finance and Policy Commission, appointed by the Governor and Legislature clearly found that if Wisconsin does not adjust its user fees, the condition of our state and local roads as well as local transit systems will deteriorate significantly over the next decade.

**NOW, THEREFORE, BE IT RESOLVED**, the Village Board of the Village of Mukwonago urges the Governor and Legislature to #JustFixItWI and agree upon a sustainable solution: one that includes a responsible level of bonding and adjusts our user fees to adequately and sustainably fund Wisconsin's multi-modal transportation system. Furthermore, the Village Board directs the Village Clerk to send a copy of this resolution to our State Legislators, Governor Scott Walker and the League of Wisconsin Municipalities.

Adopted this 16<sup>th</sup> day of August, 2016.

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Fred H. Winchowky, Village President

Attest: \_\_\_\_\_  
Steven A. Braatz, Jr., Clerk-Treasurer