

Village of Mukwonago
REGULAR PLAN COMMISSION MEETING
Notice of Meeting and Agenda
Wednesday, November 9, 2016

Time: **6:30 p.m.**
Place: **Mukwonago Municipal Building/Board Room, 440 River Crest Court**

1. Call to Order
2. Roll Call
3. Approval of minutes for the October 11, 2016 regular meeting
4. New Business
Discussion and Possible Action on the Following Item

- A. Recommendation to Village Board concerning conditional use permit requested by Curt Wiebelhaus, Mukwonago Area School District, to allow for the construction of building additions and renovations to Mukwonago High School at the property located at 605 School Road (605 CTH NN), known as MUKV1960998001 (Phase 2, Public Hearing held on August 15, 2016)

5. Adjournment

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Please note that, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request this service, contact the Clerk's Office, 440 River Crest Court, (262) 363-6420, Option 4.

MINUTES OF THE REGULAR PLAN COMMISSION MEETING

Tuesday, October 11, 2016

Call to Order

Chairperson Fred Winchowky called the meeting to order at 6:36 p.m. located in the Board Room of the Mukwonago Municipal Building, 440 River Crest Ct.

Roll Call

Commissioners present: Joe Abruzzo
Robert Harley
John Meiners
Mark Penzkover
Ken Werner
Fred Winchowky, Chairman

Member excused: Sterling Fairchild
Also present: Bruce Kaniewski, Village Planner
John Weidl, Administrator/Economic Developer
Judith Taubert, Deputy Clerk-Treasurer

Minutes

Motion by Penzkover/Werner to approve the September 13, 2016 regular meeting minutes as presented carried.

New Business

OMSA Development LLC Site Plan/Architectural review

Motion by Penzkover/Werner to recommend the Village approve the Site Plan and Architectural Plan requested by Kevin Connor, DDS, OMSA Development LLC, for the construction of a single-story office building on the property located at 320 Bay View Rd., known as MUKV2009954001 subject to the following conditions carried:

1. Approval of the plans for the proposal to construct a structure for Oral and Maxillofacial Survey Associates at approximately 320 Bay View Road shall be subject to the package of plans submitted on behalf of the applicant by Design Unlimited to the Village of Mukwonago and on file in the office of the Village Clerk. Prior to commencement of any site construction or issuance of any building permit, final plans shall be reviewed and approved by the Supervisor of Inspections/Zoning Administrator, Fire Chief, Village Planner and Village Engineer. The final plans shall be modified to conform to all applicable Village codes and other conditions of approval; the floor plans may be modified with the approval of the Supervisor of Inspections to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout of the site as depicted on the Layout Plan dated November 5, 2015 shall remain unchanged.
2. Prior to the start of any site construction or issuance of a building permit, whichever occurs first, the following shall occur:
 - a. Conformance with all terms and conditions of approval for the Conditional Use.
 - b. Completion of all required approvals as listed in Condition No. 1.

- c. Approval of the plans by the Fire Chief, which may include, but are not limited to, the internal fire suppression system, external fire department connection location and hydrant locations.
 - d. Approval of building plans by the Building Inspector after receipt of approval of building plans by the State of Wisconsin.
 - e. Approval of building plans shall include appropriate locations of external mechanical equipment to be placed hidden from view of neighboring properties.
 - f. Recording of the 2-Lot Certified Survey Map.
 - g. Approval of the storm water maintenance agreement by the Village Board and the soil erosion plan by the Village Engineer.
3. Prior to temporary occupancy issuance, and if needed, prior to final occupancy permit, the following shall occur:
- a. Completion of all site grading and storm water management facilities in accordance with final approved plans.
 - b. Completion of all exterior lighting in accordance with final approved plans.
 - c. Completion of the buildings in accordance with final approved plans and all applicable codes.
 - d. Completion of a hard parking surface with concrete curb and gutter, including installation of handicapped parking signs and ramp in accordance with final approved plans.
 - e. Completion of the dumpster enclosure.
4. Prior to final occupancy permit, which shall be issued not later than 90 days after any temporary occupancy permit, the following shall occur:
- a. Completion of all items within Condition No. 3.
 - b. Completion of paving and striping of the entire parking area, in accordance with approved plans.
 - c. Installation of all site landscaping, in accordance with approved plans.

322 Grand Ave. Historic Preservation Commission Review

Motion by Abruzzo/Penzkover to approve the removal of existing detached garage and construction of a new detached garage at the property located at 322 Grand Avenue known as MUKV1973204 consistent with the plans submitted subject to variance approval of dimension coverage, size and height carried.

201 Pearl Ave., Historic Preservation Commission Review

Motion by Abruzzo/Werner to approve the removal of existing detached garage and construct a new detached garage at the property located at 201 Pearl Ave known as MUKV 1973225 subject to the materials and colors matching the existing house and approval of a variance by the Board and Zoning Appeals for the height, and lot coverage after a survey of the lot carried.

Update to the Comprehensive Plan 2035

Items amended by the Plan Commission:

1. Replace language provided by Village Attorney on Page 34.
2. Replace language provided by Village Attorney as revised on Page 39.
3. Addition of clarifying language regarding likelihood of maximum population on Page 33.
4. Adding the following language to the high density multi-family and medium density multi-family definitions: "Housing dedicated to senior citizens may exceed five (5) dwelling units

per acre, up to 20 dwelling units per acre and exceed stated building height restriction” on Page 11.

5. Delete the last sentence of low density multi-family definition on Page 12.
6. Changing maps (Northeast Key Area Recommended Land Use for 2035) to reflect current Linden Grove parcel to medium density.

Motion by Penzkover/Werner to adopt the resolution granting preliminary approval with the above changes to amend “Comprehensive Plan 2035” for the Village of Mukwonago subject to the aforementioned changes carried.

Adjournment

Meeting adjourned at 8:53 p.m.

Respectfully submitted,

Judith A. Taubert
Deputy Clerk/Treasurer

DRAFT



November 3, 2016

President Fred Winchowky, Chair
Village of Mukwonago Plan Commission
440 River Crest Court
Mukwonago, WI 53149

Re: Mukwonago High School Additions/Phase 2 Approval

Dear President Winchowky and Members of the Plan Commission:

During the August meeting the Plan Commission held a public hearing to consider the conditional use request of the Mukwonago Area School District for site renovations, building interior alterations and additions at the high school. The Plan Commission recommended, and the Village Board granted, approval for Phase 1 improvements involving parking lot reconstruction, new bus drop-off with parking and new storm water management facilities, basically east and south of the school building, in preparation of constructing the additions. Design of the exterior of the additions was not finalized at that time; therefore approval of the remainder of the proposed improvements was delayed, called Phase 2.

Representatives of the school district have submitted all plans so that approval of Phase 2 can be considered at this time.

Background

The building additions include:

1. A performance auditorium with rehearsal and storage space for the music program to the northeast corner of the existing structure.
2. New administration offices also providing a secure main school entrance to the front center of the existing structure.
3. An indoor athletic gymnasium with new locker rooms to the west side of the existing structure.

The additions allow interior alterations to the existing structure for an expanded cafeteria, more and improved classroom and lab space, and staff offices and meetings rooms for staff and student counseling. Externally, Phase 2 improvements include adding a new parent drop-off/pick-up area in front of the school with a parking lot for visitors and nighttime use. During the school day, this new parking area will be separated from student parking northwest and west of the school. New parking for staff and after school hours use will be added to the west and southwest sides of the school.

Village zoning requires one parking space for each two students on campus during the highest attendance period and one space per person employed at the school, plus any additional parking needed for special facilities on the site as required by the Plan Commission. Village staff recommends there is sufficient parking on the site for 99% of the daytime and nighttime uses of the site.



Exterior drawings of the additions are included in the attached plans for your review. Material samples will be provided at the meeting. The additions will be covered by a combination of utility face brick, precast panels, fiber cement panels and metal panels in reddish and gray tones. Glass will be a major component of the auditorium exterior.

Recommendation

I recommend approval of the requested conditional use for Phase 2 of the Mukwonago High School building and site improvements. The proposal is consistent with P-1 Public and Semi-Public Zoning District development standards. I further recommend approval be subject to the following list of conditions.

1. Phase 2 Approval shall be subject to the submitted plans, all dated September 6, 2016, which are as follows:
 - a. Overall Site Plan, Sheet C1.20
 - b. Overall Site Landscape Plan, Sheet L1.0
 - c. First Floor Overall, Sheet SA-1
 - d. Auditorium Rendered Elevations, Sheet A3.A
 - e. Gymnasium Rendered Elevations, Sheet A3.GThe plans may be further modified to conform to other conditions of approval; the building and floor plans may be modified with the approval of the Building Inspector to conform to Building and Fire Safety Codes and all plans may be further modified to conform to Village design standards. However, the basic layout of the site as depicted the site plan shall remain unchanged.
2. All ingress/egress drives and parking areas shown on the site plan shall remain private and shall be maintained in a usable and passable condition at all times. Written approval from Waukesha County Department of Public Works for new CTH NN access points shall be provided to the Village Zoning Administrator.
3. Approval shall be subject to approval of the Storm Water Maintenance Agreement previously approved by the Village Board.
4. Prior to issuance of the first building permit, a final landscape plan, exterior site lighting plan and dumpster enclosure plan shall be submitted for approval of the Zoning Administrator.
5. The property shall be maintained in a clean condition, free of debris at all times.
6. Only signs allowed by the Village Sign Code, and approved by either the Zoning Administrator or Plan Commission, shall be allowed on the property. On-site directional signs are encouraged.
7. Prior to the start of any Phase 2 site construction or issuance of a building permit, whichever occurs first, the following shall occur:
 - a. The Village Engineer shall approve all site engineering plans and documents, including a complete Storm Water Management Plan.
 - b. Submittal of signed easements granted to the Village of Mukwonago providing access to maintain on-site sanitary sewer and potable water lines and hydrants.
 - c. All final site development plans shall be consistent with the plans noted in Condition No. 1 or as modified.
 - d. Approval of the plans by the Fire Chief, which may include, but are not limited to, the internal fire suppression system, external fire department connection location and hydrant locations.



- e. Approval of building plans by the Building Inspector after receipt of approval of building plans by the State of Wisconsin.
 - f. Approval of building plans shall include appropriate locations of the external mechanical equipment to be placed hidden from view from neighboring properties.
9. Prior to temporary occupancy issuance for part of the existing building or additions, if needed prior to final occupancy permit, the following shall occur:
- a. Completion of all site grading and storm water management facilities in accordance with approved plans, including landscaping that is part of the storm water management facilities.
 - b. Completion of all exterior lighting for the addition in accordance with approved plans.
 - c. Completion of the addition in accordance with approved plans and all applicable codes.
 - d. Completion of hard drive and parking surfaces from the exterior public right-of-way to the general area surrounding the buildings, including installation of handicapped parking signs and ramps.
 - e. Completion of dumpster enclosures.
10. Prior to final occupancy permit, which shall be issued not later than 120 days after any temporary occupancy permit, the following shall occur:
- a. Completion of all items within Condition No. 9.
 - b. Completion of paving and striping of the entire parking area, in accordance with approved plans.
 - c. Installation of all site landscaping.
 - d. Completion of all required public improvements as specified in the Storm Water Management Plan.
 - e. Completion of any other municipal code requirement in the interest of the health, safety and welfare of the public.

I appreciate the opportunity to assist the Village of Mukwonago with the review of this proposal. Should any questions arise, please feel free to contact me.

Sincerely,

Bruce S. Kaniewski, AICP
Village Planner/Zoning Administrator

Cc: John Weidl, Village Administrator (via email)
Steve Braatz, Jr., Village Clerk (via email)
Bob Harley, Supervisor of Inspections (via email)
Kurt Peot, P.E., Village Engineer (via email)
Kevin Schmidt, Police Chief (via email)
Jeff Stien, Fire Chief (via email)
Dave Brown, Utilities Superintendent (via email)



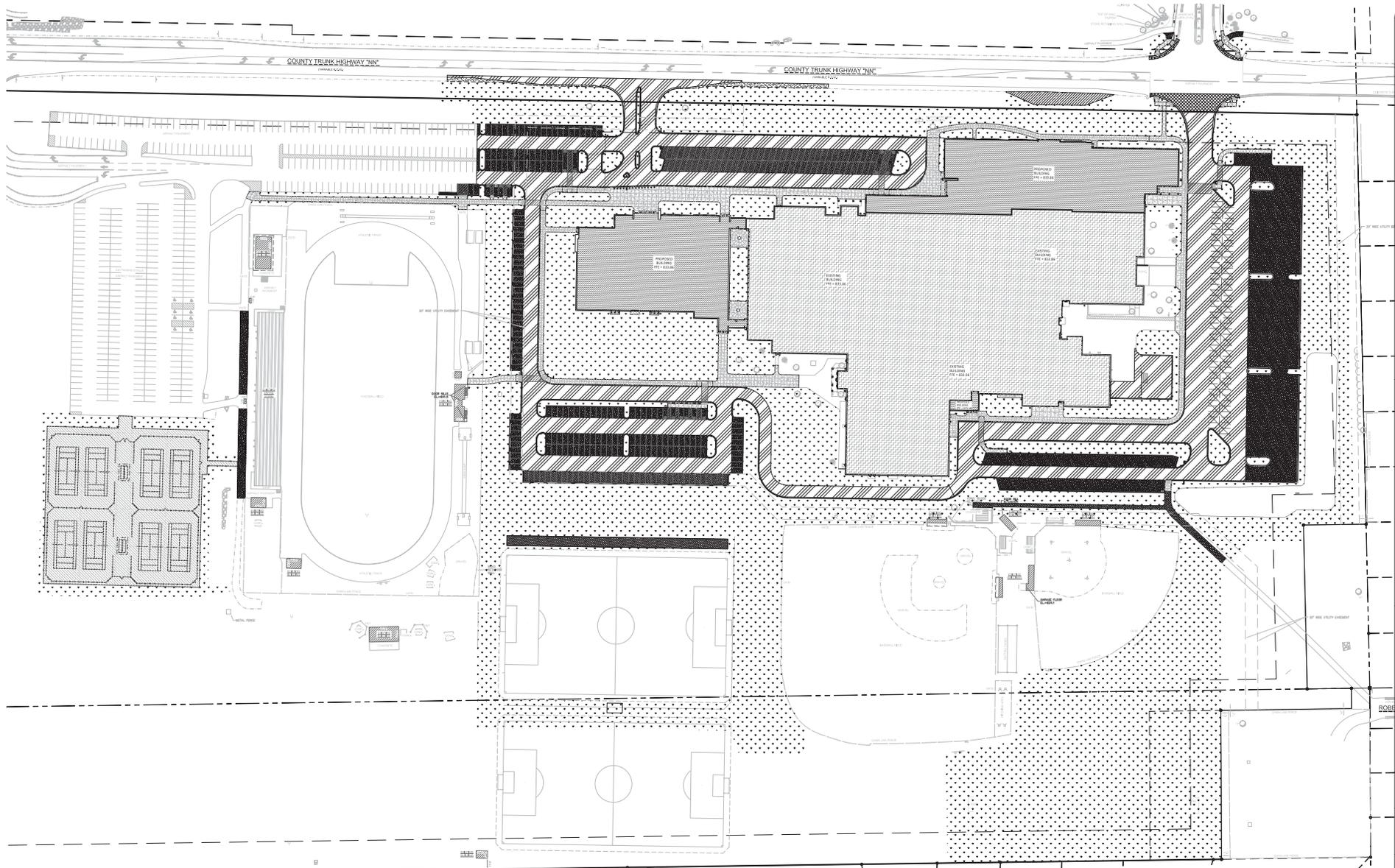
Village of Mukwonago

Office of the Village Planner

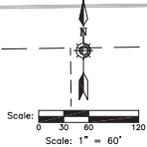
P.O. Box 206, 440 River Crest Court, Mukwonago, Wisconsin 53149
(262) 363-6420 Fax: (262)363-6425

www.villageofmukwonago.com

Ron Bittner, Public Works Director (via email)
Mark Blum, Village Attorney (via email)
Curt Wielbelhaus, Applicant (via email)
Chris Eger, Architect (via email)



MINORS DRIVE



DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

HATCH LEGEND	
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL, IF REQUIRED. REFER TO THE SITE LANDSCAPE PLAN (SHEETS L1.10 THRU L1.150) AND THE SITE LANDSCAPE DETAILS (SHEET L2.1) FOR SPECIFIC TURF/SEED MIX TYPES AND AREAS.
	NEW ASPHALTIC CONCRETE PAVEMENT (LIGHT DUTY) SEE DETAIL 5/C/2.2
	NEW ASPHALTIC CONCRETE PAVEMENT (HEAVY DUTY) SEE DETAIL 5/C/2.2
	REPLACEMENT PAVEMENT FOR C.T.H. NN. CONTRACTOR SHALL MATCH EXISTING PAVEMENT AND BASE THICKNESS.
	NEW ASPHALTIC CONCRETE PAVEMENT FOR TENNIS COURTS. SEE DETAIL 47/C/2.7. TENNIS COURT STRIPING SHALL INCLUDE UTO LINES AND THE SURFACE SYSTEM SHALL CONSIST OF THE FOLLOWING COLORS: BLUE FOR THE PLAYING COURT AND GREEN FOR THE PERIMETER PER THE TENNIS UNIVERSAL COLOR CHART. FINAL COLOR SELECTIONS TO BE APPROVED BY OWNER.
	NEW CONCRETE SLAB SEE DETAILS 6 & 7/C/2.2
	NEW HEAVY DUTY CONCRETE SLAB SEE DETAILS 6 & 7/C/2.2
	NEW 18" BARRIER HIGH-SIDE CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED SEE DETAIL 8/C/2.2
	NEW 18" BARRIER LOW-SIDE CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED SEE DETAIL 8/C/2.2
	DESIGNATES THE LOCATION OF SAWCUT CONTROL JOINTS BETWEEN THE COURTS. THE SAWCUTS SHALL BE LESS THAN 1/2" WIDE AND EXTEND TO A DEPTH OF AT LEAST 1-3/4".
	10-FOOT HIGH BLACK VINYL COATED CHAIN LINK FENCE WITH 1-1/2" MESH AND SLOTTED WIND SCREEN. POSTS SHALL BE A MAXIMUM OF 8'-0" O.C. AND DRIVEN INTO THE GROUND TO A DEPTH OF 5', RESULTING IN A TOTAL POST LENGTH OF 15'. CORNER, END, TERMINAL, AND GATE POSTS SHALL BE 3" IN DIAMETER AND SET IN CONCRETE FOOTINGS MEASURING 12" IN DIAMETER AND 48" IN DEPTH.
	6-FOOT HIGH BLACK VINYL COATED CHAIN LINK FENCE WITH 2" MESH. FENCING AROUND THE MAINTENANCE AREA ON THE EAST SIDE OF THE SCHOOL SHALL HAVE PRIVACY SLATS. POSTS SHALL BE A MAXIMUM OF 10'-0" O.C. AND DRIVEN INTO THE GROUND TO A DEPTH OF 4', RESULTING IN A TOTAL POST LENGTH OF 10'. CORNER, END, TERMINAL, AND GATE POSTS SHALL BE 3" IN DIAMETER AND SET IN CONCRETE FOOTINGS MEASURING 12" IN DIAMETER AND 48" IN DEPTH.
	4-FOOT HIGH BLACK VINYL COATED CHAIN LINK FENCE WITH 1-1/2" MESH. POSTS SHALL BE A MAXIMUM OF 10'-0" O.C. AND DRIVEN INTO THE GROUND TO A DEPTH OF 4', RESULTING IN A TOTAL POST LENGTH OF 8'. CORNER, END, TERMINAL, AND GATE POSTS SHALL BE 3" IN DIAMETER AND SET IN CONCRETE FOOTINGS MEASURING 12" IN DIAMETER AND 48" IN DEPTH.



Office Locations:
 Milwaukee
 829 S. 1st Street
 Milwaukee, WI 53204
 T: 414.228.0200
 Sheboygan
 12024 North 8th Street
 PO Box 955
 Sheboygan, Wisconsin 53082
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KAPUR & ASSOCIATES, INC.
 101 W. SOUTH WISCONSIN AVENUE
 MILWAUKEE, WI 53233
 PHONE: 414.333.6666 FAX: 414.333.6117
 www.kapuringenera.com



Project Title:
 Additions & Alterations To:
 Mukwonago High School
 Mukwonago Area School District
 606 W. School Road

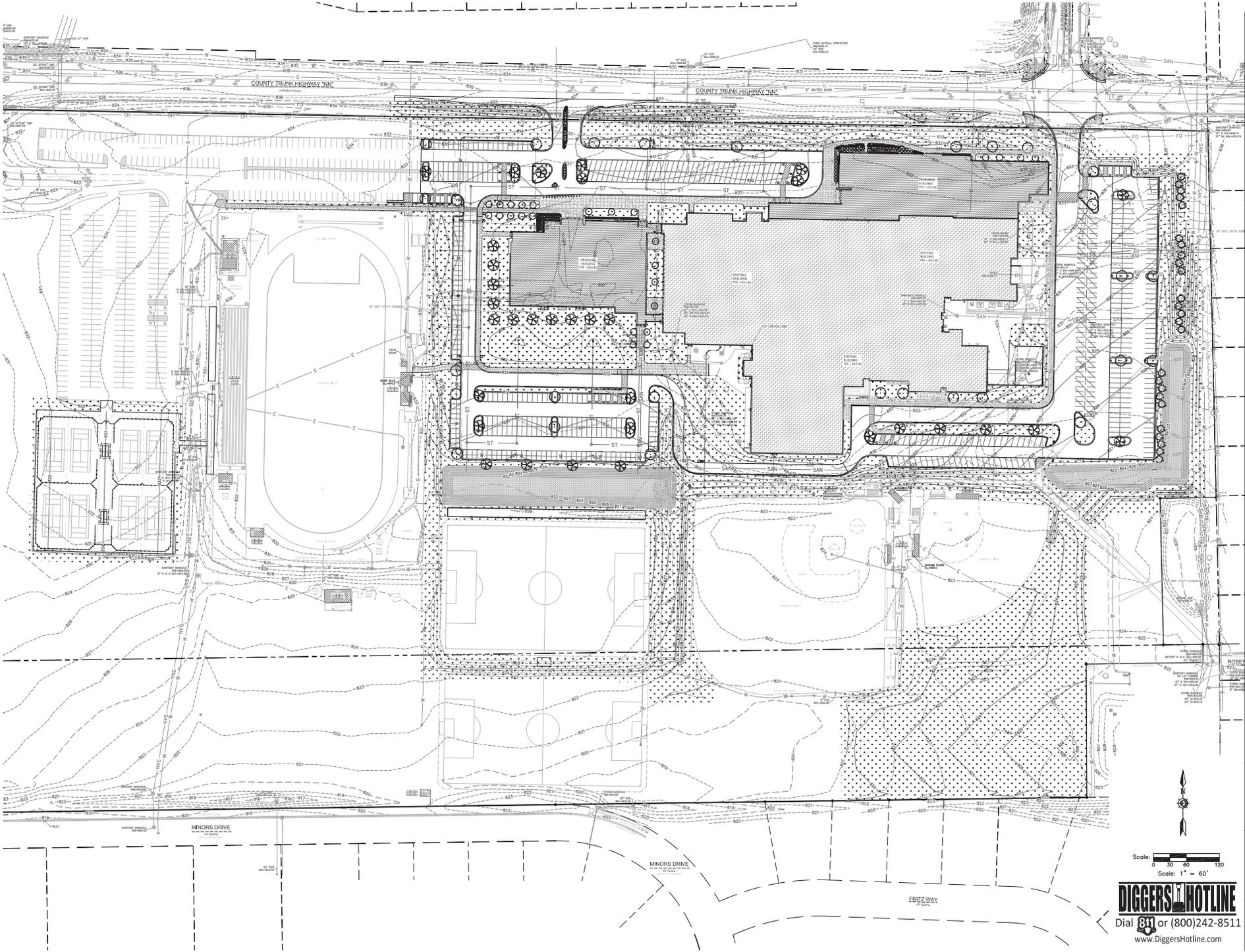
Project Number:
 3207

Issued For:
 Phase 1 Bid Set

Issue Date:
 September 6, 2016

Sheet Title:
 OVERALL SITE PLAN

Sheet Number:
 C1.20



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Office Locations:

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Project Title:
 Additions & Alterations To:
 Mukwonago High School
 Mukwonago Area School District
 605 W. School Road

Project Number:
 3207

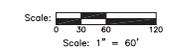
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 Phase 1 Bld
 Set

Issue Dates:
 September 6, 2016

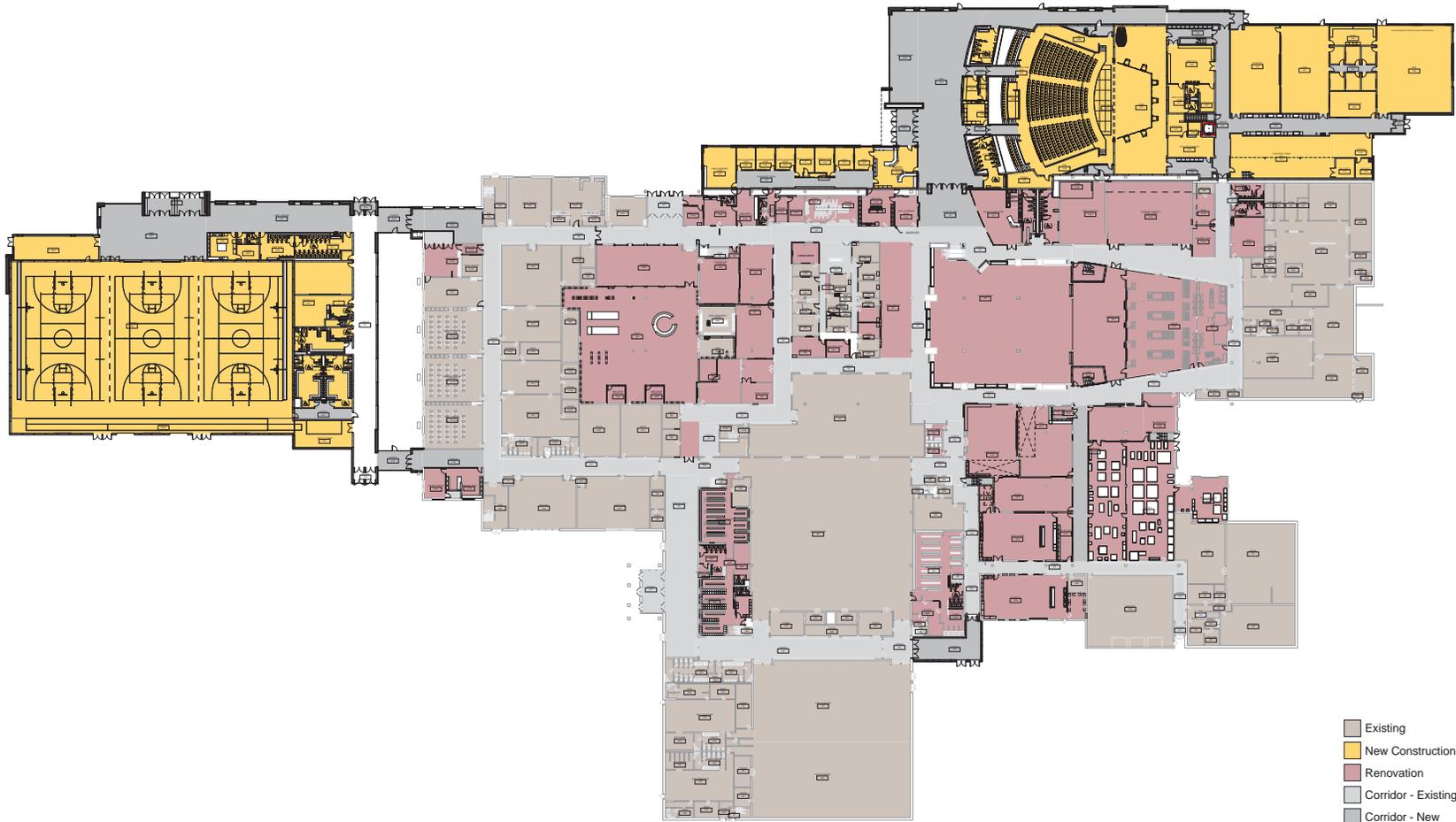
Sheet Title:
 OVERALL SITE
 LANDSCAPE
 PLAN

Sheet Number:

L1.10



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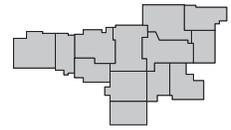


- Existing
- New Construction
- Renovation
- Corridor - Existing
- Corridor - New
- Calculating...



FIRST FLOOR SCHEMATIC-OVERALL

Scale: 1" = 30'-0"



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Office Locations:

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Project Title:
**Additions & Alterations To:
Mukwonago High School
Mukwonago Area School District
605 W. School Road**

Project Number:
3207

Issued For:
**Phase 1 -
Construction
Documents**

Issue Dates:
September 8, 2016

Sheet Title:
**FIRST FLOOR
OVERALL**

Sheet Number:
SA-1



AUDITORIUM - NORTH
Scale: 1/8" = 1'-0"



AUDITORIUM - WEST
Scale: 1/8" = 1'-0"



AUDITORIUM - EAST
Scale: 1/8" = 1'-0"



PAC - NORTH (EAST)
Scale: 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND	
	DARK METAL PANEL
	LIGHT METAL PANEL
	FIBER CEMENT PANEL
	PRECAST PANELS
	UTILITY FACE BRICK

ELEVATION MATERIAL LEGEND
Scale: 1/8" = 1'-0"



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Project Title:
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 Mukwonago High School
 Mukwonago Area School District
 605 W. School Road**

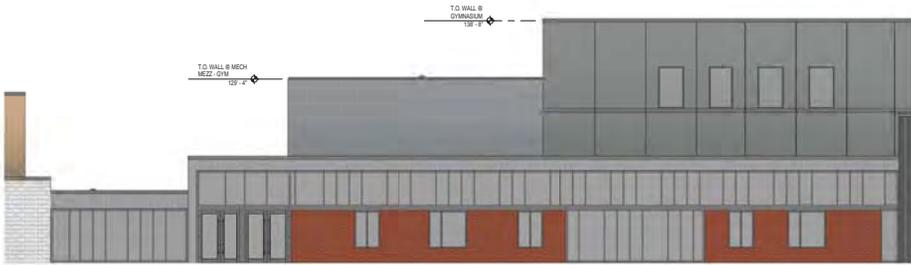
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Issued For:
**Phase 1 -
 Construction
 Documents**

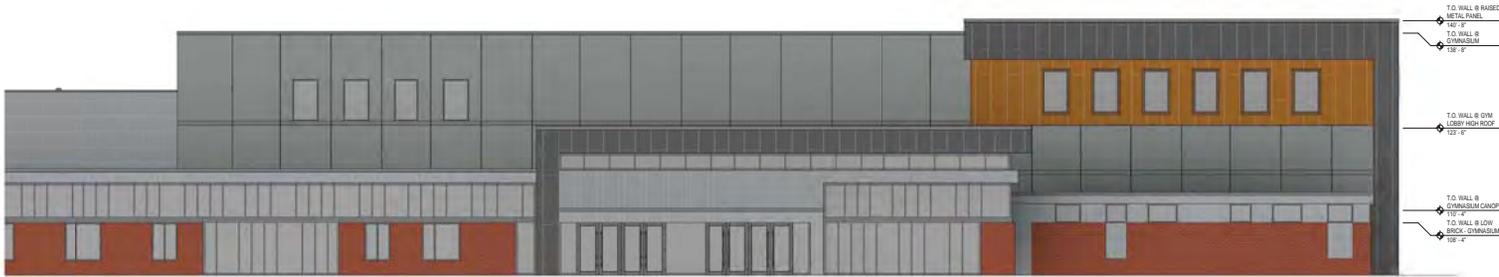
Issue Date:
 September 8, 2016

Sheet Title:
**AUDITORIUM
 RENDERED
 ELEVATIONS**

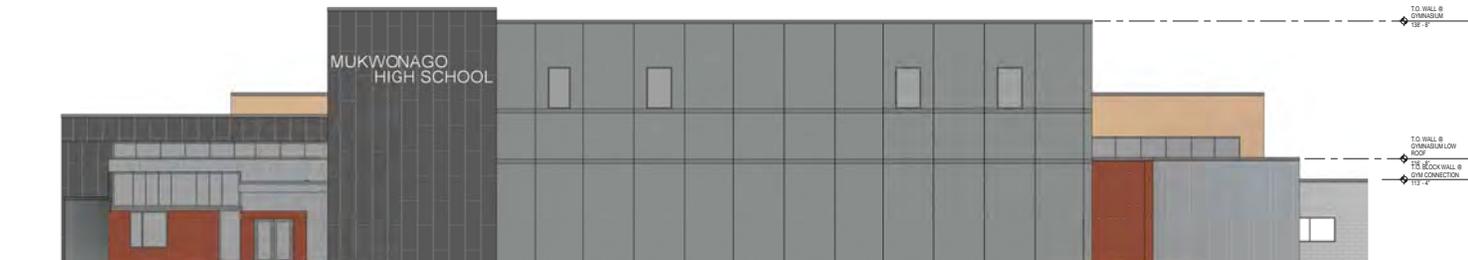
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GYMNASIUM - NORTH
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GYMNASIUM - NORTH ENTRY
Scale: 1/8" = 1'-0"



GYMNASIUM - WEST
Scale: 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND	
	DARK METAL PANEL
	LIGHT METAL PANEL
	FIBER CEMENT PANEL
	PRECAST PANELS
	UTILITY FACE BRICK

ELEVATION MATERIAL LEGEND
Scale: 1/8" = 1'-0"



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 Documents
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 September 8, 2016

Sheet Title:
 GYMNASIUM
 RENDERED
 ELEVATIONS

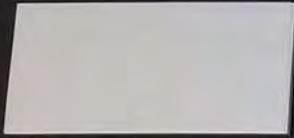
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ELEVATION MATERIAL LEGEND

	DARK METAL PANEL
	LIGHT METAL PANEL
	FIBER CEMENT PANEL
	PRECAST PANELS
	UTILITY FACE BRICK

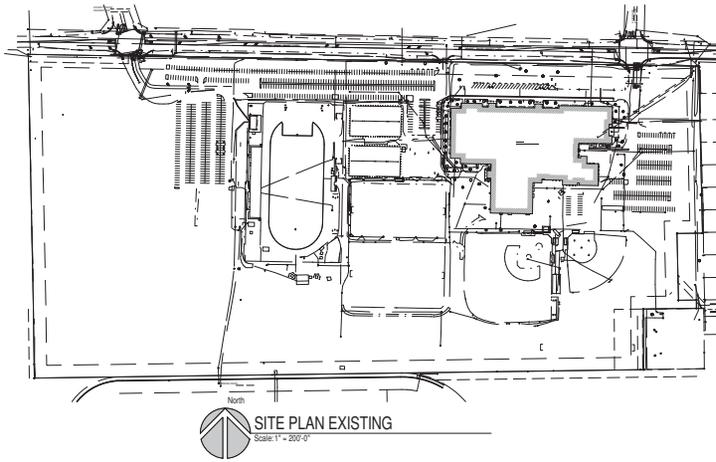


DARK METAL PANEL



LIGHT METAL PANEL



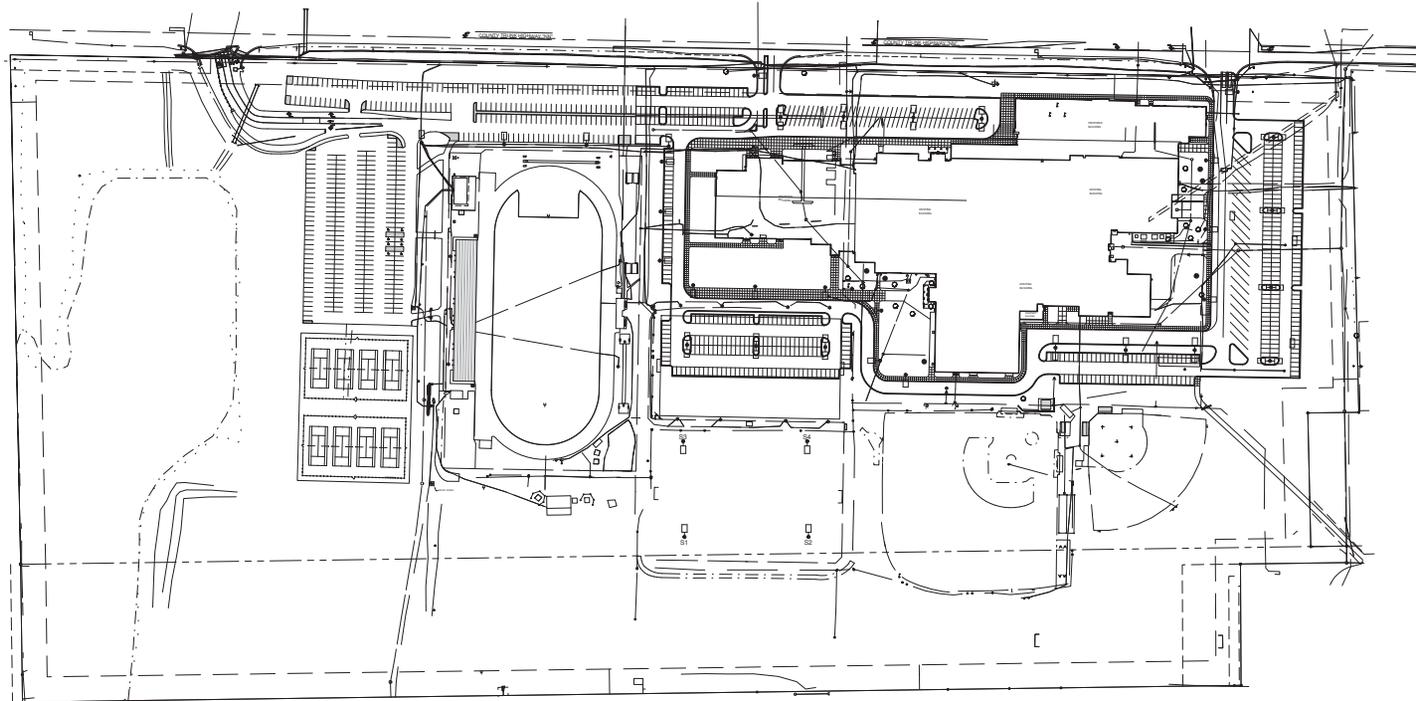


GENERAL NOTES:

1. UNLESS SHOWN OTHERWISE, ALL WIRING SHOWN IS (2)10 AND #10 GROUND IN 1" PVC.
2. INSTALL PULL CORD IN ALL EMPTY CONDUITS.
3. PROVIDE CONCRETE BASE ROUGH-IN PER DETAIL.
4. UNLESS SHOWN OTHERWISE, ALL CONDUITS BURIED 2'-6" BELOW FINISHED GRADE.
5. PROVIDE SITE LIGHTING CONTROL PANEL PER DETAIL.
6. E.C. IS RESPONSIBLE FOR ALL WORK REQUIRED TO BRING SITE EXCAVATION AND TOPPING BACK TO ORIGINAL CONDITION IF TRENCHING IS DONE ON COMPACTED SURFACES.

PLAN NOTES:

1. XXXX



Sheet Number	Sheet Name
E1JK2P	SECOND FLOOR PLAN - UNIT JK - POWER
E0.0	SITE PLAN - ELECTRICAL
E0.1	OVERALL FIRST FLOOR PLAN - DEMOLITION
E0.2	OVERALL SECOND FLOOR PLAN - DEMOLITION
E0.B1	FIRST FLOOR PLAN - UNIT B - DEMOLITION
E0.B2	SECOND FLOOR PLAN - UNIT B - DEMOLITION
E0.C1	FIRST FLOOR PLAN - UNIT C - DEMOLITION
E0.C2	SECOND FLOOR PLAN - UNIT C - DEMOLITION
E0.D1	FIRST FLOOR PLAN - UNIT D - DEMOLITION
E0.D2	SECOND FLOOR PLAN - UNIT D - DEMOLITION
E0.E1	FIRST FLOOR PLAN - UNIT E - DEMOLITION
E0.E2	SECOND FLOOR PLAN - UNIT E - DEMOLITION
E0.G1	FIRST FLOOR PLAN - UNIT G - DEMOLITION
E0.G2	SECOND FLOOR PLAN - UNIT G - DEMOLITION
E0.H1	FIRST FLOOR PLAN - UNIT H - DEMOLITION
E0.H2	SECOND FLOOR PLAN - UNIT H - DEMOLITION
E0.I1	FIRST FLOOR PLAN - UNIT I - DEMOLITION
E0.J1	FIRST FLOOR PLAN - UNIT J - DEMOLITION
E0.J2	SECOND FLOOR PLAN - UNIT J - DEMOLITION
E0.K1	FIRST FLOOR PLAN - UNIT K - DEMOLITION
E0.L1	FIRST FLOOR PLAN - UNIT L - DEMOLITION
E0.M1	FIRST FLOOR PLAN - UNIT M - DEMOLITION
E0.M2	SECOND FLOOR PLAN - UNIT M - DEMOLITION
E1.1	OVERALL FIRST FLOOR PLAN - ELECTRICAL
E1.2	OVERALL SECOND FLOOR PLAN - ELECTRICAL
E1.A1L	FIRST FLOOR PLAN - UNIT A - LIGHTING
E1.A1P	FIRST FLOOR PLAN - UNIT A - POWER
E1.B1L	FIRST FLOOR PLAN - UNIT B - LIGHTING
E1.B1P	FIRST FLOOR PLAN - UNIT B - POWER
E1.B2L	SECOND FLOOR PLAN - UNIT B - LIGHTING
E1.B2P	SECOND FLOOR PLAN - UNIT B - POWER
E1.C1L	FIRST FLOOR PLAN - UNIT C - LIGHTING
E1.C1P	FIRST FLOOR PLAN - UNIT C - POWER
E1.C2L	SECOND FLOOR PLAN - UNIT C - LIGHTING
E1.C2P	SECOND FLOOR PLAN - UNIT C - POWER
E1.D1L	FIRST FLOOR PLAN - UNIT D - LIGHTING
E1.D1P	FIRST FLOOR PLAN - UNIT D - POWER
E1.D2L	SECOND FLOOR PLAN - UNIT D - LIGHTING
E1.D2P	SECOND FLOOR PLAN - UNIT D - POWER
E1.E1	FIRST FLOOR PLAN - UNIT E - ELECTRICAL
E1.E2L	SECOND FLOOR PLAN - UNIT E - LIGHTING
E1.E2P	SECOND FLOOR PLAN - UNIT E - POWER
E1.F1L	FIRST FLOOR PLAN - UNIT F - LIGHTING
E1.F1P	FIRST FLOOR PLAN - UNIT F - POWER
E1.G1L	FIRST FLOOR PLAN - UNIT G - LIGHTING
E1.G1P	FIRST FLOOR PLAN - UNIT G - POWER
E1.G2	SECOND FLOOR PLAN - UNIT G - ELECTRICAL
E1.H1L	FIRST FLOOR PLAN - UNIT H - LIGHTING
E1.H1P	FIRST FLOOR PLAN - UNIT H - POWER
E1.H2L	SECOND FLOOR PLAN - UNIT H - LIGHTING
E1.H2P	SECOND FLOOR PLAN - UNIT H - POWER
E1.I1L	FIRST FLOOR PLAN - UNIT I - LIGHTING
E1.I1P	FIRST FLOOR PLAN - UNIT I - POWER
E1.J1	FIRST FLOOR PLAN - UNIT J - ELECTRICAL
E1.JK2L	SECOND FLOOR PLAN - UNIT JK - LIGHTING
E1.K1L	FIRST FLOOR PLAN - UNIT K - LIGHTING
E1.K1P	FIRST FLOOR PLAN - UNIT K - POWER
E1.L1	FIRST FLOOR PLAN - UNIT L - ELECTRICAL
E1.M1L	FIRST FLOOR PLAN - UNIT M - LIGHTING
E1.M1P	FIRST FLOOR PLAN - UNIT M - POWER
E1.M2L	SECOND FLOOR PLAN - UNIT M - LIGHTING
E1.M2P	SECOND FLOOR PLAN - UNIT M - POWER
E2.0	OVERALL FIRST FLOOR PLAN - FIRE ALARM
E2.1	OVERALL SECOND FLOOR PLAN - FIRE ALARM
E2.2	OVERALL FIRST FLOOR PLAN - CCTV & KEYLESS ENTRY
E2.3	OVERALL SECOND FLOOR PLAN - CCTV & KEYLESS ENTRY
E2.4	CCTV & KEYLESS ENTRY DETAILS
E2.5	ENLARGED KITCHEN PLAN
E3.0	DETAILS
E3.1	DETAILS
E3.2	DETAILS
E3.3	DATA DETAILS & RISERS
E3.4	FIRE ALARM DETAILS
E4.0	ONE LINE DIAGRAM
E4.1	ONE LINE DIAGRAM
E4.2	PANEL SCHEDULES & FEEDER SCHEDULE
E4.3	PANEL SCHEDULES
E4.4	FIXTURE SCHEDULE & SYMBOLS LIST
AV1.1	AUDIO SYSTEM CONDUIT



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